



ADEL CITY COUNCIL AGENDA
Monday, February 28, 2022 at 6:00 p.m.
Adel City Hall, 301 S. 10th Street, Adel, IA 50003

PUBLIC HEARING

1. Fiscal Year 2022-2023 Pre-Levy Debt Service
2. Amending the Zoning Ordinance by Rezoning 4.41 Acres Owned By Six Pack Enterprises, LLC From R-1 to C-3

COMMENTS FROM THE PUBLIC

CONSENT AGENDA

- a) Consider Approval of City Minutes Dated February 8, 2022
- b) Consider Approval of Class E Liquor License, Class B Wine Permit, and Class C Beer Permit with Sunday Sales for Kum & Go #2093
- c) Consider Approval of Class E Liquor License, Class B Wine Permit, and Class C Beer Permit for Fareway Stores, Inc. #124
- d) Consider Approval of Resolution No. 22-24, Approving City Hall Parking Lot Closure in Conjunction with Adel Rotary's Safety Bike Rodeo Event – Saturday, May 7, 2022 (Close parking lot on Friday, May 6 at 5:00 p.m. and re-open on Saturday, May 7 at 1:00 p.m.)

DEPARTMENT HEAD REPORT

OLD BUSINESS

- a) Discussion / Possible Action on Potential Sanitary Sewer Lift Station and Force Main Project for Bear Estates / Prospect Pointe in East Annex Connect Fee District

NEW BUSINESS

- a) Consider Approval of Resolution No. 22-25, Instituting Proceedings to Take Additional Action for the Issuance of Not to Exceed \$2,250,000 General Obligation Capital Notes
- b) Consider Approval of Resolution No. 22-26, Authorizing the Issuance of \$1,355,000 General Obligation Capital Loan Notes, Series 2022, And Levying a Tax for the Payment Thereof
- c) Consider Approval of Ordinance No. 381, Amending the Zoning Ordinance By Rezoning 4.41 Acres from R-1 (Single Family Residential District) to C-3 (Highway Commercial District) owned by Six Pack Enterprises, LLC – First Reading
- d) Consider Approval of Resolution No. 22-27, Approval of Preliminary Plat – Southbridge Townhomes Plat 1

- e) Consider Approval of Resolution No. 22-16, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Adel 2022 Pavement Resurfacing Project
- f) Consider Approval of Resolution No. 22-17, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Rapids Street Reconstruction Project
- g) Discussion / Possible Action on Directing City Staff to Prepare an Ordinance to Adjust the Garbage and Recycling Rates for Fiscal Year 2022-2023

OTHER BUSINESS

ADJOURNMENT



ADEL CITY COUNCIL AGENDA
Monday, February 28, 2022 at 6:00 p.m.
Adel City Hall, 301 S. 10th Street, Adel, IA 50003

PUBLIC HEARING

1. Fiscal Year 2022-2023 Pre-Levy Debt Service

This public hearing, which was set earlier this month, considers actions to prepare for a proposed bond this summer and pre-levying for it (i.e., collecting debt service property taxes) in the Fiscal Year 2022-2023 Budget.

The bond, which would require additional action, would be used for the proposed Adel 2022 Pavement Resurfacing Project (i.e., various overlays throughout town). As of Friday, February 25, no written or oral comments have been received.

While this public hearing and the initial proceedings later state that the proposed not-to-exceed bond amount is \$2.25 million, the actual amount now proposed in subsequent proceedings is \$1.355 million. Ahlers & Cooney has advised that this public hearing should still be held as-is (i.e., at \$2.25 million) because it is a not-to-exceed amount.

2. Amending the Zoning Ordinance by Rezoning 4.41 Acres Owned By Six Pack Enterprises, LLC From R-1 to C-3

This public hearing, which was set earlier this month, considers a rezoning request just east of the Raccoon River and just north of HWY 6. The approximately 4.41-acre property is currently zoned as R-1 (Single Family Residential, High Density). The owner, Six Pack Enterprises, LLC, has requested C-3 (Highway Commercial District) for a proposed flex space project. As of Friday, February 25, no written or oral comments have been received.

COMMENTS FROM THE PUBLIC

CONSENT AGENDA

If a council member would like to discuss a consent agenda item, it may be pulled from the consent agenda upon request. City staff is recommending approval of the entire consent agenda.

- a) Consider Approval of City Minutes Dated February 8, 2022
- b) Consider Approval of Class E Liquor License, Class B Wine Permit, and Class C Beer Permit with Sunday Sales for Kum & Go #2093
- c) Consider Approval of Class E Liquor License, Class B Wine Permit, and Class C Beer Permit for Fareway Stores, Inc. #124
- d) Consider Approval of Resolution No. 22-24, Approving City Hall Parking Lot Closure in Conjunction with Adel Rotary's Safety Bike Rodeo Event – Saturday, May 7, 2022 (Close parking lot on Friday, May 6 at 5:00 p.m. and re-open on Saturday, May 7 at 1:00 p.m.)

DEPARTMENT HEAD REPORT

OLD BUSINESS

- a) Discussion / Possible Action on Potential Sanitary Sewer Lift Station and Force Main Project for Bear Estates / Prospect Pointe in East Annex Connect Fee District

This item considers discussion or possible action regarding a potential sanitary sewer lift station and force main to serve the Bear Estates / Prospect Pointe areas in the East Annex Connection Fee District. This item was briefly discussed earlier this month, but Prospect Pointe developer Eric Grubb with Solid Ground is planning to attend this meeting.

This project, which has not been designed or bid but is projected to cost \$2.97 million, could open 500-700 acres of residential development. Specifically, the Prospect Pointe development concept has been proposed just north of Bear Estates and 288th Trail with 80-100 acres of single-family homes on larger lots.

The City's Water & Sewer Committee met earlier this month and referred this item to the council. Some considerations included the existing connection fees that would come in, whether an additional financial contribution would be made from the developer, whether the City would raise its sanitary sewer fees to cover the difference, and whether the development would change in density with the sanitary sewer service.

The City could ask PFM, its financial advisor, to review its rate structure to determine the impact of this sewer project. However, with the City's existing sanitary sewer loans of over \$19 million that have increased rates already, it is likely that financing an additional project will, in the short-term, raise user rates.

One model for this project could be the City's development agreement with developer Cramer & Associates, Inc., and the Southbridge Lift Station Project. In that case, the developer agreed to provide approximately \$2 million toward the project and then would be reimbursed future connection fees as approximately 3,000 acres develops over 20 years. The City agreed to contribute up to \$500,000. However, this area is much smaller and there could be flood plain considerations that reduce the total developable area (i.e., where connection fees would be generated).

The City could finance this project itself by obtaining a USDA-RD or SRF loan. Then, the City could amend its existing sewer rates and the East Annex Connection Fee District connection fees accordingly. With existing and forecasted connection fees, the loan amount would be reduced, but a \$2 million loan is likely needed if not more. That would assume that all residents from Bear Estates would connect on immediately. This project would primarily serve residential developments instead of commercial or industrial.

Another option for the City would be to amend its Code of Ordinances related to septic system requirements. While a dry system would still be installed, this development could then continue through the platting process. However, the Code was changed in 2019 to focus on sanitary sewer developments, and the City's *Envision Adel 2040* comprehensive plan strongly suggests the same.

Residents from the Bear Estates neighborhood may attend this meeting, though it is technically not a public hearing. The developer has asked the City to either proceed with the lift station (i.e., design in 2022, construct in 2023) under its current connection fee district or to modify the Code to allow the Prospect Pointe to develop like Bear Estates (i.e., septic systems with a dry sewer throughout).

NEW BUSINESS

- a) Consider Approval of Resolution No. 22-25, Instituting Proceedings to Take Additional Action for the Issuance of Not to Exceed \$2,250,000 General Obligation Capital Notes

This resolution considers taking additional action to prepare for a proposed bond this summer. The public hearing will be held earlier in this meeting. The bond, which would require additional action, would be used for the proposed Adel 2022 Pavement Resurfacing Project.

That project is composed of various street and sidewalk overlay projects throughout town. Further action on that project will be considered later in this meeting.

While the earlier public hearing and these proceedings state that the proposed not-to-exceed bond amount is \$2.25 million, the actual amount now proposed in the next resolution is \$1.355 million. Ahlers & Cooney has advised this resolution should be considered as-is (i.e., at \$2.25 million) because it is a not-to-exceed amount. City staff is recommending approval.

The next resolution will consider lowering the proposed bond and pre-levying it for the Fiscal Year 2022-2023 Budget. That action would allow the City to collect the proposed bond's debt service cost through property taxes in FY22-23.

Future actions this summer will consider the actual bond sale.

- b) Consider Approval of Resolution No. 22-26, Authorizing the Issuance of \$1,355,000 General Obligation Capital Loan Notes, Series 2022, And Levying a Tax for the Payment Thereof

This resolution considers authorizing the issuance of a \$1.355 million general obligation bond for the proposed Adel 2022 Pavement Resurfacing Project. While the bond itself is not being sold today, this proceeding prepares the City for it and allows a pre-levy (i.e., collection of debt service from property taxes) to be included for the future bond payment in Fiscal Year 2022-2023.

The public hearing will be held earlier in this meeting along with an initial resolution. While those actions included a proposed not-to-exceed bond amount of \$2.25 million, this resolution reduces the amount to \$1.355 million. This new total is based on a modified proposed project scope discussed earlier this month. Subsequent action will be considered later in this meeting on that scope with a design amendment with McClure.

The council packet includes the debt service analysis from PFM, the City's financial advisor, for this proposed bond. The debt service levy would increase from the current \$1.97431 to \$2.41 in FY22-23 (i.e., an increase of \$0.43569). The analysis shows projections for eleven upcoming fiscal years.

For planning purposes, the analysis assumes that another \$3.745 million bond will be sold in January 2023 for a potential Rapids Street Reconstruction Project. However, this resolution only considers the \$1.355 million bond.

PFM has noted that its analysis makes conservative assumptions about bond interest rates this summer and about the City's future valuation growth. Further, this resolution assumes that the City will proceed with the 2022 Adel Pavement Resurfacing Project. City staff is recommending approval.

- c) Consider Approval of Ordinance No. 381, Amending the Zoning Ordinance By Rezoning 4.41 Acres from R-1 (Single Family Residential District) to C-3 (Highway Commercial District) owned by Six Pack Enterprises, LLC – First Reading

This ordinance considers the rezoning request for an approximately 4.41-acre property just east of the Raccoon River and just north of HWY 6. The property, which is owned by Six Pack Enterprises, LLC, is currently zoned as R-1 (Single Family Residential, High Density). The owner has requested a C-3 zoning designation (Highway Commercial District) for a proposed flex space project. The property owner is planning to attend.

The City's Planning & Zoning Commission recommended approval last month. If rezoned, the owner would still need approval from the City's Board of Adjustment for a conditional use permit for storage facilities.

Following that, the project's site plan would need to be approved by the Planning & Zoning Commission before the project could proceed. The council packet includes initial concepts for the site, though these have not been formally reviewed by the City.

The City's Envision Adel 2040 Future Land Use Map calls for this area to be considered "Floodplain" with low intensity uses such as parks, recreation, and agriculture. However, this property is not technically in the flood plain (see council packet).

Further, this property is not a part of the East Annex Connection Fee District for the City's future sanitary sewer service. Even if a lift station were installed (see earlier item), this area is approximately 2,500 feet away. The City could ask McClure to analyze the serviceability of this area. The flex space concept sometimes includes small office bathrooms, so presumably a septic system would be used. Any septic system design would need to be approved by the Dallas County Environmental Health Department.

City staff notes that this area's current residential zoning dates to at least 2013. That zoning could have relied on the old comprehensive plan, whereas today residential in this area does not make sense. Instead, rezoning for this proposed project could meet a need in the community and generate taxable valuation for an area that would not normally see development.

d) Consider Approval of Resolution No. 22-27, Approval of Preliminary Plat – Southbridge Townhomes Plat 1

This resolution considers approving the preliminary plat of five four-unit townhomes in the Southbridge PUD / Plat 3. The purpose of this plat is to subdivide the individual units (along with the outlots, which will be maintained by an association) to allow Knuth Development, Inc. to sell them individually.

The previous plat by Cramer & Associates, Inc. only had five lots total. The relevant City utilities and infrastructure have been previously dedicated to the City.

The City's Planning & Zoning Commission met earlier this month and recommended approval. City staff is recommending approval. If approved, the council will consider the final plat next month.

e) Consider Approval of Resolution No. 22-16, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Adel 2022 Pavement Resurfacing Project

This resolution considers approving an amendment to the City's engineering agreement with McClure for overall design, continued project management, and potential land acquisition services for the proposed 2022 Pavement Resurfacing Project. A future amendment would cover the on-site project representative and other construction or close-out services.

This resolution was discussed previously at the February 8 council meeting. City staff worked with Street Committee Chair Rob Christensen and Budget Committee Chair Shirley McAdon to revise the proposed scope of work and cost.

The revised scope of resurfacing projects includes multiple sections of South 16th Street, Aspen Drive, multiple sections of Greene Street, improved ADA curb ramps in various locations, and pavement or sidewalk improvements around the Adel Public Library, Adel City Hall, and the Adel Public Safety Building.

The revised estimated total cost of these projects, including construction, engineering, legal, and construction administration, is \$1.3 million after adjusting for inflation and contingency. This amendment's estimated cost is \$182,000.

The revised scope removes work on multiple sections of North 6th Street, a section of Cottage Street, and the more extensive parking lot work at the City's Public Safety Building. These sections could be revisited in the coming years or addressed in different ways.

Several related action items will be considered earlier in this meeting, including the primary funding source (i.e., the pre-levy). However, before the proposed bond is sold in July 2022, the City will need to cover approximately \$250,000 of this project. The FY21-22 Audit will reflect that. Once the bond has been sold, the City would be reimbursed for those engineering, legal, and administrative costs.

As mentioned earlier, the bond for these overall projects will increase the City's debt service levy by approximately \$0.44 from FY21-22 to FY22-23 (see earlier item).

City staff notes that the cost estimates for the proposed resurfacing project have increased significantly since being considered in the summer/fall of 2021. However, this revised scope fits in with those initial dollar amounts and would still be a significant amount of street improvements. City staff is recommending approval.

- f) Consider Approval of Resolution No. 22-17, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Rapids Street Reconstruction Project

This resolution considers approving an amendment to the City's engineering agreement with McClure to develop a new assessment policy for the City. This amendment's estimated cost is \$19,500.

The revised scope would have McClure develop three assessment method options, attend several meetings with City staff, and then work with the council to formalize the new assessment policy.

While not addressed in this amendment, it is assumed that separate work with Ahlers & Cooney would be needed to review the policy from a legal standpoint and to develop proceedings to adopt it.

At the February 8 council meeting, Street Committee Chair Rob Christensen and Budget Committee Chair Shirley McAdon noted that the council should confirm its assessment method, communicate with residents, and understand the City's finances before moving forward with the design of the Rapids Street Reconstruction Project.

A future amendment with McClure could consider the overall design, continued project management, and potential land acquisition services for the proposed Rapids Street Reconstruction Project.

This amendment cost could be reimbursed by a future bond, but, for now, it would need to come from the City's reserves (e.g., RUT balance). This item could require a budget amendment eventually.

City staff notes that, with the Rapids Street Reconstruction Project tentatively on hold, this action item's timing is not as critical.

g) Discussion / Possible Action on Directing City Staff to Prepare an Ordinance to Adjust the Garbage and Recycling Rates for Fiscal Year 2022-2023

This item considers discussion and/or possible action to direct City staff to prepare an ordinance to adjust the City's garbage, recycling, and yard waste rates for Fiscal Year 2022-2023.

The City has not adjusted the rates it charges to residents since July 2020. The current rates are \$12.35 per month for garbage and \$3.88 per month for recycling and yard waste.

In the past, City staff and the City's Water, Sewer, and Sanitation Committee have been in agreement to draw down on the City's Garbage Fund balance instead of increasing rates. In the past, the fund balance covered approximately 4-5 months' worth of expenses.

Ankeny Sanitation, Inc. (ASI), the City's residential provider, implements rate increases annually. The South Dallas County Landfill's monthly per capita fees increase as the U.S. Census Bureau releases updated population estimates for the City. As the City continues to grow, and as costs continue to increase, City staff projects that the Garbage Fund balance will go negative in a few years.

While the City does not own or operate the residential garbage collection service, there could be timing issues if ASI or Landfill invoices are due before the City collects its residential payments. City staff believes that the City should maintain a two-month reserve balance in the Garbage Fund.

Based on City staff's financial projections, a combined increase of \$1.87 to the monthly rates for FY22-23 could be implemented. This would target a two-month reserve balance. However, future increases would need to be implemented annually (i.e., FY23-24, FY24-25, etc.) to maintain the two-month reserve balance.

If the council would prefer to attempt to cover 2-3 years of rate increases at once (assuming a two-month reserve balance) before revisiting rates, a combined increase of \$2.38 for FY22-23 could be implemented.

However, if there is less concern about only having a one-month reserve balance, the council could implement a combined increase of \$1.91 for FY22-23. This increase, with the only one-month reserve, should cover two years before needing to revisit rates.

Regardless, City staff would evaluate the rates, expenses, and reserve balance annually and bring back adjustments if needed.

OTHER BUSINESS

ADJOURNMENT

(To be published between: February 8, 2022 and February 23, 2022)

NOTICE OF MEETING OF THE CITY COUNCIL OF THE
CITY OF ADEL, STATE OF IOWA, ON THE MATTER OF
THE PROPOSED AUTHORIZATION OF A LOAN
AGREEMENT AND THE ISSUANCE OF NOT TO EXCEED
\$2,250,000 GENERAL OBLIGATION CAPITAL LOAN NOTES
OF THE CITY (FOR ESSENTIAL CORPORATE PURPOSES),
AND THE HEARING ON THE ISSUANCE THEREOF

PUBLIC NOTICE is hereby given that the City Council of the City of Adel, State of Iowa, will hold a public hearing on the 28th day of February, 2022, at 6:00 P.M., in the Council Chambers, City Hall, 301 S. 10th Street, Adel, Iowa, at which meeting the Council proposes to take additional action for the authorization of a Loan Agreement and the issuance of not to exceed \$2,250,000 General Obligation Capital Loan Notes, for essential corporate purposes, to provide funds to pay the costs of the opening, widening, extending, grading, and draining of the right-of-way of streets, highways, avenues, alleys and public grounds; the construction, reconstruction, and repairing of any street or bridge improvements; the acquisition, installation, and repair of sidewalks, pedestrian overpasses and underpasses, trails, storm sewers, sanitary sewers, water service lines, street lighting, and traffic control devices, and the acquisition of any real estate needed for any of the foregoing purposes, including for the 2022 Street Resurfacing project. Principal and interest on the proposed Loan Agreement will be payable from the Debt Service Fund.

At the above meeting the Council shall receive oral or written objections from any resident or property owner of the City to the above action. After all objections have been received and considered, the Council will at the meeting or at any adjournment thereof, take additional action for the authorization of a Loan Agreement and the issuance of the Notes to evidence the obligation of the City thereunder or will abandon the proposal to issue said Notes.

This notice is given by order of the City Council of the City of Adel, State of Iowa, as provided by Sections 384.24A and 384.25 of the Code of Iowa.

Dated this 17th day of February, 2022.

Carrie Erickson
City Clerk, City of Adel, State of Iowa

(End of Notice)

NOTICE OF PUBLIC HEARING

PUBLIC NOTICE is hereby given that the Council of the City of Adel, Iowa, will hold a public hearing on Monday, February 28, 2022, at 6:00 PM, in the Council Chambers, Adel City Hall, 301 S. 10th Street, Adel, Iowa, regarding a proposed ordinance amending the zoning for the Parcel 1128300005 located north of Highway 6 on the east side of the Raccoon River from R-1 (Single Family Residential District) to C-3 (Highway Commercial District). A copy of the proposed ordinance may be viewed at City Hall, 301 S. 10th Street, Adel, IA during business hours of 8:30 a.m. to 4:30 p.m.

Legal description for the portion being considered is as follows:

A parcel of land being part of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-eight (28) and the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section Thirty-three (33), Township Seventy- nine (79) North, Range Twenty-seven (27) West of the 5th P.M., Dallas County, Iowa, described as follows:

Beginning at the Northwest corner of said Section 33, thence S 00°08'45" E, 27.66 feet along West line of said Section 33 to the North ROW of No. U.S. Hwy; thence N 89°34'30" E, along said ROW 569.42 feet; thence N 00°22'11" W, along said ROW 61.75 feet; thence N 89°34'30" E, along said ROW 186.30 feet; thence N 34°32'56" W, 135.75 feet; thence N 57°46'00" W, 163.00 feet; thence N 88°51'34" W, 185.00 feet; thence N 00°45'29" W, 97.00 feet; thence S 77°58'00" W, 359.00 feet; thence S 00°38'01" W, 264.20 feet to the point of beginning. Parcel contains 4.41 acres, as shown on Amended Retracement Survey filed for record in the office of the Recorder of Dallas County, Iowa on 10-31-2003 at Book 2003, page 22001.

At the above meeting, the Council shall receive oral or written objections from any resident or property owner of the City, to the above action. After all objections have been received and considered, the Council will, at this meeting or at any adjournment thereof, take additional action for the authorization of said ordinance described above or will abandon the proposal.

This Notice is given by order of the Council of the City of Adel, Iowa, pursuant to Section 362.3 and 414.4 of the Code of Iowa.

Dated this 17th day of February, 2022.

Carrie Erickson
City Clerk, Adel, Iowa

Adel City Council
February 08, 2022 – Meeting Minutes

The Adel City Council met in regular session at the Adel City Hall, 301 S. 10th Street, Adel, Iowa on Tuesday, February 08, 2022. At 6:00 p.m., Mayor Peters called the meeting to order. The following answered roll: McAdon, Selby, Christensen, Miller, Ockerman.

Staff Present: City Administrator Brown, City Clerk Erickson, Finance Director Sandquist, City Attorney Stone, Code Compliance Officer Nichols, Fire Chief Nemechek, Assistant Fire Chief Knipper, and Public Works Director Overton.

PUBLIC HEARING

1. Public Hearing on the Resolution Relating to the Total Maximum Property Dollars for FY22-23
Motion by Ockerman, seconded by Miller, to open the public hearing.
Roll: Ayes – Unanimous. Motion carried.

No written/oral comments received.

Motion by Christensen, seconded by McAdon, to close the public hearing.
Roll: Ayes – Unanimous. Motion carried.

2. Public Hearing on the Plans, Specifications, Form of Contract, and Estimate of Cost for the Eagle Vista Pavement Rehabilitation
Motion by Christensen, seconded by McAdon, to open the public hearing.
Roll: Ayes – Unanimous. Motion carried.

No written/oral comments received.

Motion by Miller, seconded by Selby, to close the public hearing.
Roll: Ayes – Unanimous. Motion carried.

COMMENTS FROM THE PUBLIC

1. Ankeny Sanitation Report - Dave Massey, General Manager
Dave Massey (7002 SE Delaware, Ankeny, IA 50021) reported that recycling is paying a rebate and noted the efforts of Adel Boy Scouts, South Dallas County Landfill, and Ankeny Sanitation to attach informational stickers to recycling bins. Mr. Massey also noted the City Cleanup day set for April 23, 2022.

CONSENT AGENDA

- a) Consider Approval of City Council Minutes Dated January 24, 2022
- b) Consider Approval of January Bills and January 31, 2022 Treasurer's Report
- c) Consider Approval of Pay Application No. 1 for the Southbridge Lift Station & Forcemain - Forcemain
- d) Consider Approval of Pay Application No. 1 for the Southbridge Lift Station & Forcemain - Lift Station
- e) Consider Approval of Pay Application No. 8 for the Adel Water Systems Improvements 2020 - High Service Pump Building
- f) Consider Approval of Change Order No. 2 for the Adel Wastewater Treatment Plant
- g) Consider Approval of Pay Application No. 17 for the Adel Wastewater Treatment Plant
- h) Consider Approval of Resolution No. 22-12, Updating FY21-22 Aquatic Center Fees
- i) Consider Approval of Settlement Agreement and Release with Alliance Construction

- j) Consider Approval of Settlement Agreement and Release with Priority Excavating
- k) Consider Approval of Resolution No. 22-13, Authorizing the City of Adel to Submit an Application For Funding to the CIRTPA Transportation Alternatives Program and Approving Said Application
- l) Consider Approval of Resolution No. 22-14, Approving the Grant Contract Between the City of Adel and the Iowa Finance Authority for the Wastewater and Drinking Water Treatment Financial Assistance Program

Motion by Ockerman, seconded by Selby, to approve the Consent Agenda.

Roll: Ayes – Unanimous. Motion carried.

DEPARTMENT HEAD REPORT

- 1. Second Council Meeting – Monday, February 28, 2022 at 6:00 p.m.

OLD BUSINESS

- a) Consider Approval of Resolution No. 22-09, Approving Agreement with Granicus for Agenda Management Software Services

Motion by Christensen, seconded by Miller, to approve Resolution No. 22-09.

Roll: Ayes – Unanimous. Motion carried.

NEW BUSINESS

- a) Consider Approval of Resolution No. 22-15, Approving the Total Maximum Property Tax Dollars for Fiscal Year 2022-2023

Motion by McAdon, seconded by Ockerman, to approve Resolution No. 22-15.

Roll: Ayes – Unanimous. Motion carried.

- b) Consider Approval of Budget & Finance Committee Recommendation to Use the American Rescue Plan Act Dollars to Replace Two Fire Trucks, Subject to Final Treasury Rule Taking Effect on April 1, 2022 and Approval of Fire Truck Quotes
- Motion by Christensen, seconded by Selby, to approve use of the American Rescue Plan Act Dollars to Replace Two Fire Trucks, Subject to the Final U.S. Treasury Rule Taking Effect on April 1, 2022 and the Approval of Fire Truck Quotes.**

Roll: Ayes – Unanimous. Motion carried.

- c) Consider Approval of Resolution No. 22-16, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Adel 2022 Pavement Resurfacing Project

Council Member Christensen and Council Member McAdon, as respective chairs of the Street and Budget Committees, suggested more discussion and consideration before acting

No action was taken by the Council and Resolution No. 22-16 will be reconsidered at the February 28, 2022 City Council Meeting.

- d) Consider Approval of Resolution No. 22-17, Approving Amendment No. 1 to the Engineering Services Agreement Between the City of Adel and McClure Engineering for the Rapids Street Reconstruction Project

Christensen and McAdon’s comments from the discussion on Resolution No. 22-16 also apply to Resolution No. 22-17.

No action was taken by the Council and Resolution No. 22-17 will be reconsidered at the February 28, 2022 City Council Meeting.

- e) Consider Approval of Resolution No. 22-18, Fixing Date for a Meeting on the Authorization of a Loan Agreement and the Issuance of Not to Exceed \$2,250,000 General Obligation Capital Loan Notes of the City of Adel, and Providing of Publication of Notice Thereof
Motion by Ockerman, seconded by Miller, to approve Resolution No. 22-18.
Roll: Ayes – Unanimous. Motion carried.
- f) Discussion / Possible Action on Potential Sanitary Sewer Lift Station and Force Main Project for Bear Estates / Prospect Pointe in East Annex Connect Fee District
No action was taken for this item. The developer of Prospect Pointe is planning to attend the February 28, 2022 City Council meeting for further discussion.
- g) Consider Approval of Setting a Public Hearing for Fiscal Year 2022-2023 Budget - Tuesday, March 8, 2022 at 6:00 p.m.
Motion by McAdon, seconded by Miller, to set a public hearing for Fiscal Year 2022-2023 Budget for Tuesday, March 8, 2022 at 6:00 p.m.
Roll: Ayes – Unanimous. Motion carried.
- h) Consider Approval of Resolution No. 22-19, Approving and Amendment to the Resolution Authorizing Issuance of Sewer Revenue Capital Loan Notes Anticipation Project Note, Series 2108F, Dated December 28, 2018, and Authorizing Execution and Delivery of Amendment to Loan Agreement
Motion by Ockerman, seconded by Selby, to approve Resolution No. 22-19.
Roll: Ayes – Unanimous. Motion carried.
- i) Consider Approval of Change Order No. 5 for the Adel Water Systems Improvements 2020 - High Zone Water Main (Final)
Motion by Ockerman, seconded by Miller, to approve Change Order No. 5 for High Zone Water Main.
Roll: Ayes – Unanimous. Motion carried.
- j) Consider Approval of Pay Estimate No. 8 for the Adel Water Systems Improvements 2020 - High Zone Water Main
Motion by Christensen, seconded by Ockerman, to approve Pay Estimate No. 8 for High Zone Water Main.
Roll: Ayes – Unanimous. Motion carried.
- k) Consider Approval of Pay Estimate No. 9 for the Adel Water Systems Improvements 2020 - High Zone Water Main (Final)
Motion by Ockerman, seconded by Selby, to approve Pay Estimate No. 8 for High Zone Water Main.
Roll: Ayes – Unanimous. Motion carried.
- l) Consider Approval of Resolution No. 22-20, Accepting Water Systems Improvements 2020, High Zone Water Main
Motion by Ockerman, seconded by McAdon, to approve Resolution No. 22-20.
Roll: Ayes – Unanimous. Motion carried.
- m) Consider Approval of Resolution No. 22-21, Approving Final Plat of Eagle Vista Plat 2
Motion by Christensen, seconded by Selby, to approve Resolution No. 22-21.
Roll: Ayes – Unanimous. Motion carried.

- n) Consider Approval of Resolution No. 22-22, Adopting Plans, Specifications, Form of Contract, and Estimate of Cost for the Eagle Vista Pavement Rehabilitation
Motion by Selby, seconded by Miller, to approve Resolution No. 22-22.
Roll: Ayes – Unanimous. Motion carried.
- o) Consider Approval of Resolution No. 22-23, Making Award of Construction Contract for the Eagle Vista Drive Pavement Rehabilitation
Motion by Christensen, seconded by McAdon, to approve Resolution No. 22-23, which awards the construction contract for the Eagle Vista Drive Pavement Rehabilitation Project to The Concrete Contracting Company, Inc. of Grimes, IA in the total bid amount of \$137,082.00.
Roll: Ayes – Unanimous. Motion carried.
- p) Consider Approval of Setting a Public Hearing for Rezoning Parcel 1128300005 from R-1 (Single Family Residential District) to C-3 (Highway Commercial District) for Monday, February 28, 2022 at 6:00 p.m.
Motion by Selby, seconded by Miller, to approve setting a Public Hearing for rezoning parcel 1128300005.
Roll: Ayes – Unanimous. Motion carried.

ADJOURNMENT

- 1. Meeting adjourned at 6:33 p.m.**

James F. Peters, Mayor

Attest: _____
Carrie Erickson, City Clerk



State of Iowa

Alcoholic Beverages Division

Applicant

NAME OF LEGAL ENTITY	NAME OF BUSINESS(DBA)	BUSINESS	
Kum & Go LC	Kum & Go # 2093	(515) 993-4236	
ADDRESS OF PREMISES	CITY	COUNTY	ZIP
409 Nile Kinnick Dr	Adel	Dallas	50003
MAILING ADDRESS	CITY	STATE	ZIP
1459 Grand Avenue	Des Moines	Iowa	50309

Contact Person

NAME	PHONE	EMAIL
Jody Deiter	(515) 457-6249	licenses@kumandgo.com

License Information

LICENSE NUMBER	LICENSE/PERMIT TYPE	TERM	STATUS
LE0001828	Class E Liquor License	12 Month	Submitted to Local Authority
TENTATIVE EFFECTIVE DATE	TENTATIVE EXPIRATION DATE	LAST DAY OF BUSINESS	
July 1, 2021	June 30, 2022		

SUB-PERMITS

Class E Liquor License, Class C Beer Permit, Class B Wine Permit



State of Iowa

Alcoholic Beverages Division

PRIVILEGES

Sunday Service

Status of Business

BUSINESS TYPE

Limited Liability Company

Ownership

• Individual Owners

NAME	CITY	STATE	ZIP	POSITION	% OF OWNERSHIP	U.S. CITIZEN
Tanner Krause	Des Moines	Iowa	50309	President	0.00	Yes
Charles Campbell	Des Moines	Iowa	50309	Secretary	0.00	Yes
Krause Group LTD	Des Moines	Iowa	50309	Owner	100.00	Yes
Reed Rainey	Des Moines	Iowa	50309	COO	0.00	Yes
Brian Beckett	Des Moines	Iowa	50309	CFO	0.00	Yes

Insurance Company Information

INSURANCE COMPANY

POLICY EFFECTIVE DATE

POLICY EXPIRATION DATE

DRAM CANCEL DATE

OUTDOOR SERVICE EFFECTIVE
DATE

OUTDOOR SERVICE EXPIRATION
DATE



State of Iowa

Alcoholic Beverages Division

Applicant

NAME OF LEGAL ENTITY	NAME OF BUSINESS(DBA)	BUSINESS	
Fareway Stores, Inc.	Fareway Stores, Inc. #124	(515) 993-2074	
ADDRESS OF PREMISES	CITY	COUNTY	ZIP
804 Nile Kinnick Drive	Adel	Dallas	50003
MAILING ADDRESS	CITY	STATE	ZIP
2300 Industrial Park Road PO Box 70	Boone	Iowa	50036

Contact Person

NAME	PHONE	EMAIL
Tracey Wilson	(515) 433-5336	twilson@farewaystores.com

License Information

LICENSE NUMBER	LICENSE/PERMIT TYPE	TERM	STATUS
LE0002125	Class E Liquor License	12 Month	Submitted to Local Authority

TENTATIVE EFFECTIVE DATE	TENTATIVE EXPIRATION DATE	LAST DAY OF BUSINESS
May 1, 2022	Apr 30, 2023	

SUB-PERMITS

Class E Liquor License, Class C Beer Permit, Class B Wine Permit

PRIVILEGES



Status of Business

BUSINESS TYPE

Privately Held Corporation

Ownership

• Individual Owners

NAME	CITY	STATE	ZIP	POSITION	% OF OWNERSHIP	U.S. CITIZEN
Garrett S Piklapp	Huxley	Iowa	50124	Secretary	0.00	Yes
Various Individuals & Trust each holding less than 5%	Unknown	Iowa	55555	Stockholders	33.25	Yes
Fred E. Vitt Control Trust	Boone	Iowa	50036	Trust	10.87	Yes
Fareway Control Trust	Boone	Iowa	50036	Trust	55.88	Yes
Tracey Wilson						

Insurance Company Information

INSURANCE COMPANY

POLICY EFFECTIVE DATE

POLICY EXPIRATION DATE

DRAM CANCEL DATE

OUTDOOR SERVICE EFFECTIVE DATE

OUTDOOR SERVICE EXPIRATION DATE

BOND EFFECTIVE DATE

TEMP TRANSFER EFFECTIVE DATE

TEMP TRANSFER EXPIRATION DATE

RESOLUTION NO. 22-24

**RESOLUTION TEMPORARILY CLOSING PUBLIC WAYS OR GROUNDS IN
CONNECTION WITH A SPECIAL EVENT KNOWN AS
ADEL ROTARY SAFETY BIKE RODEO**

WHEREAS, Iowa Code Section 364.12(2) states "a city shall keep all public grounds, streets, sidewalks, alleys, bridges, culverts, overpasses, underpasses, grade crossing separations and approaches, public ways, squares, and commons open, in repair and free from nuisance;" and

WHEREAS, Iowa Code Section 364.12(2)(a) states "public ways and grounds may be temporarily closed by resolution;" and

WHEREAS, the Adel Rotary has requested closure of the following streets and parking spaces from 5:00 p.m. to 1:00 p.m. on the dates listed below, in conjunction with the special event known as Adel Rotary Safety Bike Rodeo.

City Hall Parking Lot – 5:00 p.m. Friday May 6, 2022 – 1:00 p.m. Saturday May 7, 2022.

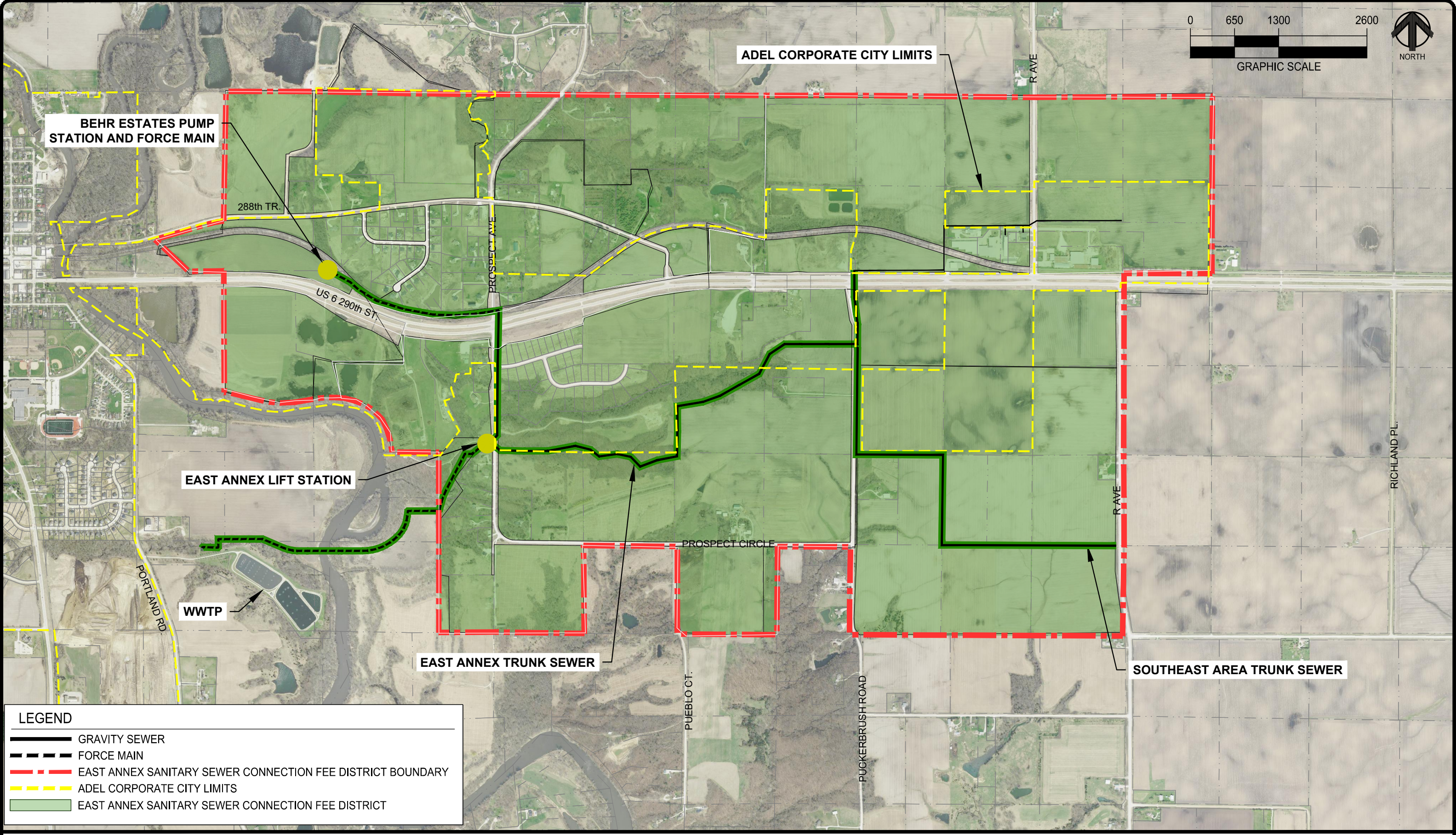
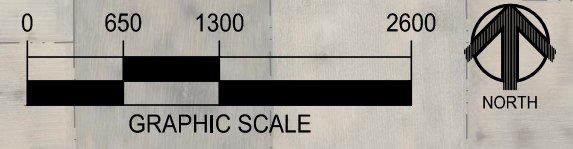
NOW, THEREFORE, BE IT RESOLVED, pursuant to Iowa Code Section 364.12(2)(a), the City Council of the City of Adel, Iowa does hereby temporarily close the streets as stated above.

Dated this date: _____

James F. Peters, Mayor

ATTEST:

Carrie Erickson, City Clerk



BEHR ESTATES PUMP STATION AND FORCE MAIN

ADEL CORPORATE CITY LIMITS

EAST ANNEX LIFT STATION

WWTP

EAST ANNEX TRUNK SEWER

SOUTHEAST AREA TRUNK SEWER

LEGEND

- GRAVITY SEWER
- FORCE MAIN
- EAST ANNEX SANITARY SEWER CONNECTION FEE DISTRICT BOUNDARY
- ADEL CORPORATE CITY LIMITS
- EAST ANNEX SANITARY SEWER CONNECTION FEE DISTRICT

East Annex Sanitary Sewer Connection Fee District
City of Adel, IA



C:\Projects\ADL_20317005-00_Design\Exhibits\Tributary_Area_Map_EA.dwg

Project Description: Behr Estates Lift Station and Force Main

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
1	Mobilization and Bonding	1	LS	\$ 85,000	\$ 85,000
2	Clearing and Grubbing	1.5	AC	\$ 10,000	\$ 15,000
3	Topsoil, On-Site	2,885	CY	\$ 3.00	\$ 8,655
4	Trench Foundation Rock	200	TN	\$ 32	\$ 6,400
5	Replacement of Unsuitable Backfill Materials	300	CY	\$ 25	\$ 7,500
6	Trench Compaction Testing	1	LS	\$ 5,000	\$ 5,000
7	Dewatering Excavation	1	LS	\$ 30,000	\$ 30,000
8	Sanitary Sewer Gravity Main, DIP, 12-in Diameter	0	LF	\$ 225	\$ -
9	Sanitary Sewer Gravity Main, PVC, 12-in Diameter	515	LF	\$ 120	\$ 61,800
10	Sanitary Sewer Gravity Main, Trenchless, RJ PVC, 12-in Diameter w/ Casing	385	LF	\$ 400	\$ 154,000
11	Sanitary Sewer Force Main, PVC, 6-in Diameter	2,080	LF	\$ 45	\$ 93,600
12	Sanitary Sewer Force Main, Trenchless, PVC, 6-in Diameter	520	LF	\$ 120	\$ 62,400
13	Sanitary Sewer Force Main, Trenchless, PVC, 6-in Diameter w/ Casing	120	LF	\$ 300	\$ 36,000
14	Sewage Air Release Valve, 2-in	2	EA	\$ 3,500	\$ 7,000
15	Post Construction CCTV Inspection of Sanitary Sewer	900	LF	\$ 2.50	\$ 2,250
16	Fittings, DIP	1,000	LB	\$ 11.00	\$ 11,000
17	Manhole, Type SW-301, 48-in Diameter	5	EA	\$ 7,500	\$ 37,500
18	Connection to Existing Sanitary Manhole	1	EA	\$ 7,500	\$ 7,500
19	Manhole Marker	5	EA	\$ 125	\$ 625
20	Pavement, PCC, 8-In	150	SY	\$ 75	\$ 11,250
21	Pavement, HMA, 7-In	0	SY	\$ 60	\$ -
22	Pavement, Granular, Class A	250	TN	\$ 45	\$ 11,250
23	Temporary Traffic Control	1	LS	\$ 15,000	\$ 15,000
24	Uncharted Utilities Parallel	400	EA	\$ 50	\$ 20,000
25	Uncharted Utilities Crossing	20	EA	\$ 700	\$ 14,000
26	Drain Tile Repair	10	EA	\$ 750	\$ 7,500
27	Seeding, Urban, Type 2	2.7	AC	\$ 2,500	\$ 6,750
28	Seeding, Temporary, Type 5	2.7	AC	\$ 1,250	\$ 3,375
29	Storm Water Pollution Prevention Plan Preparation	1	LS	\$ 2,500	\$ 2,500
30	Storm Water Pollution Prevention Plan Management	1	LS	\$ 5,000	\$ 5,000
31	Temporary Rolled Erosion Control Products	500	SQ	\$ 10	\$ 5,000
32	Silt Fence/Silt Fence Ditch Check	5,190	LF	\$ 2.00	\$ 10,380
33	Silt Fence/Silt Fence Ditch Check, Removal of Sediment	5,190	LF	\$ 0.25	\$ 1,298
34	Silt Fence/Silt Fence Ditch Check, Removal of Device	5,190	LF	\$ 0.25	\$ 1,298
35	Construction Stabilized Construction Entrance	100	TN	\$ 45	\$ 4,500
36	Fencing, Remove and Replace	0	LF	\$ 15.00	\$ -
37	Concrete Washout Pits	1	LS	\$ 500	\$ 500
38	Mechanical Screening	1	LS	\$ 150,000	\$ 150,000
39	0.500-MGD (375 GPM) Lift Station, Complete	1	LS	\$ 750,000	\$ 750,000
40	Extension of 3-Phase Power Supply from Mid American Energy	1	LS	\$ 125,000	\$ 125,000
Estimated Construction Cost - Subtotal					\$ 1,775,830
Temporary Easements					\$ 25,000
Permanent Easements					\$ 57,000
Land Acquisition (Fee Simple)					\$ 100,000
Contingency Allowance (10%)					\$ 178,000
Engineering, Legal, Administrative					\$ 444,000
ENGINEER'S OPINION OF PROBABLE PROJECT COST					\$ 2,579,830

SAY \$ 2,580,000

Project Description: Behr Estates Lift Station and Force Main

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	EXTENSION
1	Mobilization and Bonding	1	LS	\$ 146,500	\$ 146,500
2	Clearing and Grubbing	1.5	AC	\$ 15,000	\$ 22,500
3	Topsoil, On-Site	2,885	CY	\$ 6.00	\$ 17,310
4	Trench Foundation Rock	200	TN	\$ 45	\$ 9,000
5	Replacement of Unsuitable Backfill Materials	300	CY	\$ 30	\$ 9,000
6	Trench Compaction Testing	1	LS	\$ 6,000	\$ 6,000
7	Dewatering Excavation	1	LS	\$ 35,000	\$ 35,000
8	Sanitary Sewer Gravity Main, DIP, 12-in Diameter	0	LF	\$ 225	\$ -
9	Sanitary Sewer Gravity Main, PVC, 12-in Diameter	515	LF	\$ 130	\$ 66,950
10	Sanitary Sewer Gravity Main, Trenchless, RJ PVC, 12-in Diameter w/ Casing	385	LF	\$ 750	\$ 288,750
11	Sanitary Sewer Force Main, PVC, 6-in Diameter	2,080	LF	\$ 65	\$ 135,200
12	Sanitary Sewer Force Main, Trenchless, PVC, 6-in Diameter	520	LF	\$ 130	\$ 67,600
13	Sanitary Sewer Force Main, Trenchless, PVC, 6-in Diameter w/ Casing	120	LF	\$ 650	\$ 78,000
14	Sewage Air Release Valve, 2-in	2	EA	\$ 3,000	\$ 6,000
15	Post Construction CCTV Inspection of Sanitary Sewer	900	LF	\$ 4.50	\$ 4,050
16	Fittings, DIP	1,500	LB	\$ 15.00	\$ 22,500
17	Manhole, Type SW-301, 48-in Diameter	5	EA	\$ 7,500	\$ 37,500
18	Connection to Existing Sanitary Manhole	1	EA	\$ 10,000	\$ 10,000
19	Manhole Marker	5	EA	\$ 300	\$ 1,500
20	Pavement, PCC, 8-In	150	SY	\$ 75	\$ 11,250
21	Pavement, HMA, 7-In	0	SY	\$ 70	\$ -
22	Pavement, Granular, Class A	500	TN	\$ 35	\$ 17,500
23	Temporary Traffic Control	1	LS	\$ 20,000	\$ 20,000
24	Drain Tile Repair	10	EA	\$ 850	\$ 8,500
25	Seeding, Urban, Type 2	2.7	AC	\$ 3,500	\$ 9,450
26	Seeding, Temporary, Type 5	2.7	AC	\$ 1,750	\$ 4,725
27	Storm Water Pollution Prevention Plan Preparation	1	LS	\$ 2,500	\$ 2,500
28	Storm Water Pollution Prevention Plan Management	1	LS	\$ 5,000	\$ 5,000
29	Temporary Rolled Erosion Control Products	500	SQ	\$ 15	\$ 7,500
30	Silt Fence/Silt Fence Ditch Check	5,190	LF	\$ 2.25	\$ 11,678
31	Silt Fence/Silt Fence Ditch Check, Removal of Sediment	5,190	LF	\$ 0.25	\$ 1,298
32	Silt Fence/Silt Fence Ditch Check, Removal of Device	5,190	LF	\$ 0.50	\$ 2,595
33	Construction Stabilized Construction Entrance	100	TN	\$ 55	\$ 5,500
34	Fencing, Remove and Replace	0	LF	\$ 15	\$ -
35	Concrete Washout Pits	1	LS	\$ 1,250	\$ 1,250
36	0.500-MGD (375 GPM) Lift Station, Complete	1	LS	\$ 900,000	\$ 900,000
Estimated Construction Cost - Subtotal					\$ 1,972,105
Temporary Easements					\$ 25,000
Permanent Easements					\$ 57,000
Land Acquisition (Fee Simple)					\$ 100,000
Extension of 3-Phase Power Supply from Mid American Energy					\$ 125,000
Contingency Allowance (15%)					\$ 296,000
Engineering, Legal, Administrative* (20%)					\$ 394,500
ENGINEER'S OPINION OF PROBABLE PROJECT COST					\$ 2,969,605

SAY \$ 2,970,000

ITEMS TO INCLUDE ON AGENDA

CITY OF ADEL, IOWA

Not to Exceed \$2,250,000 General Obligation Capital Loan Notes

- Public hearing on the authorization of a Loan Agreement and the issuance of Notes to evidence the obligation of the City thereunder.
- Resolution instituting proceedings to take additional action.

NOTICE MUST BE GIVEN PURSUANT TO IOWA CODE
CHAPTER 21 AND THE LOCAL RULES OF THE CITY.

February 28, 2022

The City Council of the City of Adel, State of Iowa, met in _____ session, in the Council Chambers, City Hall, 301 S. 10th Street, Adel, Iowa, at _____ .M., on the above date. There were present Mayor _____, in the chair, and the following named Council Members:

Absent: _____

Vacant: _____

* * * * *

The Mayor announced that this was the time and place for the public hearing and meeting on the matter of the authorization of a Loan Agreement and the issuance of not to exceed \$2,250,000 General Obligation Capital Loan Notes, in order to provide funds to pay the costs of opening, widening, extending, grading, and draining of the right-of-way of streets, highways, avenues, alleys and public grounds; the construction, reconstruction, and repairing of any street or bridge improvements; the acquisition, installation, and repair of sidewalks, pedestrian overpasses and underpasses, trails, storm sewers, sanitary sewers, water service lines, street lighting, and traffic control devices, and the acquisition of any real estate needed for any of the foregoing purposes, including for the 2022 Street Resurfacing project, for essential corporate purposes, and that notice of the proposed action by the Council to institute proceedings for the authorization of the Loan Agreement and the issuance of the Notes had been published as provided by Sections 384.24A and 384.25 of the Code of Iowa.

The Mayor then asked the Clerk whether any written objections had been filed by any resident or property owner of the City to the issuance of the Notes. The Clerk advised the Mayor and the Council that _____ written objections had been filed. The Mayor then called for oral objections to the issuance of the Notes and _____ were made. Whereupon, the Mayor declared the time for receiving oral and written objections to be closed.

(Attach here a summary of objections received or made, if any)

Whereupon, the Mayor declared the hearing on the authorization of entering into a Loan Agreement and the issuance of the Notes to be closed.

The Council then considered the proposed action and the extent of objections thereto.

Whereupon, Council Member _____ introduced and delivered to the Clerk the Resolution hereinafter set out entitled "RESOLUTION INSTITUTING PROCEEDINGS TO TAKE ADDITIONAL ACTION FOR THE ISSUANCE OF NOT TO EXCEED \$2,250,000 GENERAL OBLIGATION CAPITAL LOAN NOTES", and moved:

- that the Resolution be adopted.
- to ADJOURN and defer action on the Resolution and the proposal to institute proceedings for the issuance of notes to the meeting to be held at _____ .M. on the _____ day of _____, 2022, at this place.

Council Member _____ seconded the motion. The roll was called and the vote was,

AYES: _____

NAYS: _____

Whereupon, the Mayor declared the measure duly adopted.

RESOLUTION INSTITUTING PROCEEDINGS TO TAKE
ADDITIONAL ACTION FOR THE ISSUANCE OF NOT TO
EXCEED \$2,250,000 GENERAL OBLIGATION CAPITAL
LOAN NOTES

WHEREAS, pursuant to notice published as required by law, the City Council has held a public meeting and hearing upon the proposal to institute proceedings for the authorization of a Loan Agreement and the issuance of not to exceed \$2,250,000 General Obligation Capital Loan Notes, for the essential corporate purposes, in order to provide funds to pay the costs of opening, widening, extending, grading, and draining of the right-of-way of streets, highways, avenues, alleys and public grounds; the construction, reconstruction, and repairing of any street or bridge improvements; the acquisition, installation, and repair of sidewalks, pedestrian overpasses and underpasses, trails, storm sewers, sanitary sewers, water service lines, street lighting, and traffic control devices, and the acquisition of any real estate needed for any of the foregoing purposes, including for the 2022 Street Resurfacing project, and has considered the extent of objections received from residents or property owners as to the proposed issuance of Notes; and following action is now considered to be in the best interests of the City and residents thereof.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ADEL, STATE OF IOWA:

Section 1. That this Council does hereby institute proceedings and take additional action for the authorization and issuance in the manner required by law of not to exceed \$2,250,000 General Obligation Capital Loan Notes, for the foregoing essential corporate purposes.

Section 2. This Resolution shall serve as a declaration of official intent under Treasury Regulation 1.150-2 and shall be maintained on file as a public record of such intent. It is reasonably expected that the general fund moneys may be advanced from time to time for capital expenditures which are to be paid from the proceeds of the above Notes. The amounts so advanced shall be reimbursed from the proceeds of the Notes not later than eighteen months after the initial payment of the capital expenditures or eighteen months after the property is placed in

service. Such advancements shall not exceed the amount authorized in this Resolution unless the same are for preliminary expenditures or unless another declaration of intention is adopted.

Section 3. The City Clerk is authorized and directed to proceed on behalf of the City with the sale of the Notes, to select a date for the sale thereof, to cause to be prepared such notice and sale information as may appear appropriate, to publish and distribute the same on behalf of the City and this Council and otherwise to take all action necessary to permit the sale of the Notes on a basis favorable to the City and acceptable to the Council.

PASSED AND APPROVED this 28th day of February, 2022.

Mayor

ATTEST:

City Clerk

CERTIFICATE

STATE OF IOWA)
) SS
COUNTY OF DALLAS)

I, the undersigned City Clerk of the City of Adel, State of Iowa, do hereby certify that attached is a true and complete copy of the portion of the records of the City showing proceedings of the Council, and the same is a true and complete copy of the action taken by the Council with respect to the matter at the meeting held on the date indicated in the attachment, which proceedings remain in full force and effect, and have not been amended or rescinded in any way; that meeting and all action thereat was duly and publicly held in accordance with a notice of meeting and tentative agenda, a copy of which was timely served on each member of the Council and posted on a bulletin board or other prominent place easily accessible to the public and clearly designated for that purpose at the principal office of the Council pursuant to the local rules of the Council and the provisions of Chapter 21, Code of Iowa, upon reasonable advance notice to the public and media at least twenty-four hours prior to the commencement of the meeting as required by law and with members of the public present in attendance; I further certify that the individuals named therein were on the date thereof duly and lawfully possessed of their respective City offices as indicated therein, that no Council vacancy existed except as may be stated in the proceedings, and that no controversy or litigation is pending, prayed or threatened involving the incorporation, organization, existence or boundaries of the City or the right of the individuals named therein as officers to their respective positions.

WITNESS my hand and the seal of the Council hereto affixed this _____ day of _____, 2022.

City Clerk, City of Adel, State of Iowa

(SEAL)

ITEMS TO INCLUDE ON AGENDA

CITY OF ADEL, IOWA

\$1,355,000 General Obligation Capital Loan Notes, Series 2022

- Resolution authorizing the issuance and levying a tax for the payment thereof.

NOTICE MUST BE GIVEN PURSUANT TO IOWA CODE
CHAPTER 21 AND THE LOCAL RULES OF THE CITY.

February 28, 2022

The City Council of the City of Adel, State of Iowa, met in _____ session, in the Council Chambers, City Hall, 301 S. 10th Street, Adel, Iowa, at _____ .M., on the above date. There were present Mayor _____, in the chair, and the following named Council Members:

Absent: _____

Vacant: _____

* * * * *

Council Member _____ introduced the following Resolution entitled "RESOLUTION AUTHORIZING THE ISSUANCE OF \$1,355,000 GENERAL OBLIGATION CAPITAL LOAN NOTES, SERIES 2022, AND LEVYING A TAX FOR THE PAYMENT THEREOF", and moved that the same be adopted. Council Member _____ seconded the motion to adopt. The roll was called and the vote was,

AYES: _____

NAYS: _____

Whereupon, the Mayor declared the Resolution duly adopted as follows:

RESOLUTION NO. _____

**RESOLUTION AUTHORIZING THE ISSUANCE OF
\$1,355,000 GENERAL OBLIGATION CAPITAL LOAN
NOTES, SERIES 2022, AND LEVYING A TAX FOR THE
PAYMENT THEREOF**

WHEREAS, the City of Adel, State of Iowa ("Issuer"), is a municipal corporation, organized and existing under the Constitution and laws of the State of Iowa, and is not affected by any special legislation; and

WHEREAS, the Issuer is in need of funds to pay costs of the opening, widening, extending, grading, and draining of the right-of-way of streets, highways, avenues, alleys and public grounds; the construction, reconstruction, and repairing of any street or bridge improvements; the acquisition, installation, and repair of sidewalks, pedestrian overpasses and underpasses, trails, storm sewers, sanitary sewers, water service lines, street lighting, and traffic control devices, and the acquisition of any real estate needed for any of the foregoing purposes, including for the 2022 Street Resurfacing project (the "Project"), and it is deemed necessary and advisable that General Obligation Capital Loan Notes, Series 2022, in the amount of \$1,355,000 be issued; and

WHEREAS, the City Council has taken such acts as are necessary to authorize issuance of the Notes.

NOW, THEREFORE, IT IS RESOLVED BY THE CITY COUNCIL OF THE CITY OF ADEL, STATE OF IOWA:

Section 1. Authorization of the Issuance. General Obligation Capital Loan Notes, Series 2022, in the amount of \$1,355,000 shall be issued pursuant to the provisions of Iowa Code Sections 384.24A and 384.25 for the purposes covered by the hearing.

Section 2. Levy of Annual Tax. For the purpose of providing funds to pay the principal and interest as required under Chapter 76.2, there is levied for each future year the following direct annual tax upon all the taxable property in the City of Adel, State of Iowa, to wit:

FISCAL YEAR (JULY 1 TO JUNE 30)
YEAR OF COLLECTION

AMOUNT

\$398,491.00	2022/2023
\$133,637.00	2023/2024
\$125,812.00	2024/2025
\$123,112.00	2025/2026
\$120,402.00	2026/2027
\$117,672.00	2027/2028
\$114,862.00	2028/2029
\$111,972.00	2029/2030
\$109,012.00	2030/2031
\$105,972.00	2031/2032
\$92,862.00	2032/2033

Principal and interest coming due at any time when the proceeds of the tax on hand are insufficient to pay the amount due shall be promptly paid when due from current funds available for that purpose and reimbursement must be made.

Section 3. Amendment of Levy of Annual Tax. Based upon the terms of the future sale of the Notes to be issued, this Council will file an amendment to this Resolution ("Amended Resolution") with the County Auditor.

Section 4. Filing. A certified copy of this Resolution shall be filed with the County Auditor of County of Dallas, State of Iowa, who shall, pursuant to Iowa Code Section 76.2, levy, assess and collect the tax in the same manner as other taxes and, when collected, these taxes shall be used only for the purpose of paying principal and interest on the Notes.

PASSED AND APPROVED this 28th day of February, 2022.

Mayor

ATTEST:

City Clerk

CERTIFICATE

STATE OF IOWA)
) SS
COUNTY OF DALLAS)

I, the undersigned City Clerk of the City of Adel, State of Iowa, do hereby certify that attached is a true and complete copy of the portion of the records of the City showing proceedings of the Council, and the same is a true and complete copy of the action taken by the Council with respect to the matter at the meeting held on the date indicated in the attachment, which proceedings remain in full force and effect, and have not been amended or rescinded in any way; that meeting and all action thereat was duly and publicly held in accordance with a notice of meeting and tentative agenda, a copy of which was timely served on each member of the Council and posted on a bulletin board or other prominent place easily accessible to the public and clearly designated for that purpose at the principal office of the Council pursuant to the local rules of the Council and the provisions of Chapter 21, Code of Iowa, upon reasonable advance notice to the public and media at least twenty-four hours prior to the commencement of the meeting as required by law and with members of the public present in attendance; I further certify that the individuals named therein were on the date thereof duly and lawfully possessed of their respective City offices as indicated therein, that no Council vacancy existed except as may be stated in the proceedings, and that no controversy or litigation is pending, prayed or threatened involving the incorporation, organization, existence or boundaries of the City or the right of the individuals named therein as officers to their respective positions.

WITNESS my hand and the seal of the Council hereto affixed this _____ day of _____, 2022.

City Clerk, City of Adel, State of Iowa

(SEAL)

COUNTY AUDITOR'S CERTIFICATE

I, _____, County Auditor of Dallas County, State of Iowa, hereby certify that on the _____ day of _____, 2022 there was filed in my office the Resolution of the City Council of the City of Adel, State of Iowa, adopted on the 28th day of February, 2022, the Resolution authorizing execution of a Loan Agreement and authorizing the issuance of \$1,355,000 of General Obligation Capital Loan Notes, Series 2022, and levying a tax therefor.

(COUNTY SEAL)

County Auditor of Dallas County, State of Iowa

City of Adel, Iowa

Financial Planning for Capital Projects

Projection of G.O. Debt Capacity

EXHIBIT 1

Valuation & Debt Limit Assumptions	
Valuation Growth	0.00%
Legal Debt Limit	5.00%
Self-Imposed Limit	80.00%

Beginning Fiscal Year Payable	100% Valuation	Gross Debt Limit	Effective Debt Limit	TIF		Series 2022	Series 2023	Total G.O Debt Outstanding	Available Gross Capacity	Available Effective Capacity	Debt / Legal Limit
				Existing G.O. Debt	Rebate Agreements						
2019 - 2020	255,234,533	12,761,727	10,209,381	8,165,000	6,000			8,171,000	4,590,727	2,038,381	64.03%
2020 - 2021	269,081,456	13,454,073	10,763,258	7,415,000				7,415,000	6,039,073	3,348,258	55.11%
2021 - 2022	283,321,480	14,166,074	11,332,859	6,535,000				6,535,000	7,631,074	4,797,859	46.13%
2022 - 2023	318,240,836	15,912,042	12,729,633	5,845,000		1,355,000	3,745,000	10,945,000	4,967,042	1,784,633	68.78%
2023 - 2024	335,090,926	16,754,546	13,403,637	5,150,000		995,000	3,745,000	9,890,000	6,864,546	3,513,637	59.03%
2024 - 2025	362,681,956	18,134,098	14,507,278	4,440,000		890,000	3,745,000	9,075,000	9,059,098	5,432,278	50.04%
2025 - 2026	362,681,956	18,134,098	14,507,278	3,885,000		790,000	3,645,000	8,320,000	9,814,098	6,187,278	45.88%
2026 - 2027	362,681,956	18,134,098	14,507,278	3,365,000		690,000	3,495,000	7,550,000	10,584,098	6,957,278	41.63%
2027 - 2028	362,681,956	18,134,098	14,507,278	2,835,000		590,000	3,340,000	6,765,000	11,369,098	7,742,278	37.31%
2028 - 2029	362,681,956	18,134,098	14,507,278	2,295,000		490,000	3,185,000	5,970,000	12,164,098	8,537,278	32.92%
2029 - 2030	362,681,956	18,134,098	14,507,278	1,750,000		390,000	3,025,000	5,165,000	12,969,098	9,342,278	28.48%
2030 - 2031	362,681,956	18,134,098	14,507,278	1,190,000		290,000	2,860,000	4,340,000	13,794,098	10,167,278	23.93%
2031 - 2032	362,681,956	18,134,098	14,507,278	625,000		190,000	2,690,000	3,505,000	14,629,098	11,002,278	19.33%

- Addition of estimated assessed valuation from abatement program per document from Anthony.

- Rebate payments to Cramer & Associates, Inc. Starting January 1, 2021 payable FY 2022-23 first anticipated TIF rebate payments @ 75% of available increment.

City of Adel, Iowa

Financial Planning for Capital Projects
 Projection of Tax Levies & Tax Rate Impact

EXHIBIT 2

Tax Rate Impact Summary	
Tax Impact FY 20-21	0.02074
Tax Impact FY 21-22	(0.05048)
Tax Impact FY 22-23	0.43569
Tax Impact FY 23-24	0.13000

Fiscal Year Payable	Total Tax Valuation	% Growth	Current Taxes Levied	Current Tax Rate/\$1,000	Misc Adjust.	Abatement	State Reimb.	Total Revenues	Existing Debt Service	Series 2022	Series 2023	Fiscal Fees	Total Uses	Surplus (Deficit)	Beginning Balance	Ending Balance
2019 - 2020	161,435,311	5.88%	323,524	2.00405	(4,358)	680,724	8,472	1,008,362	951,859			2,500	954,359	54,003	49,505	103,508
2020 - 2021	165,382,984	2.45%	334,865	2.02479	3,899	720,090	8,058	1,066,912	1,053,955			1,100	1,055,055	11,857	103,508	115,365
2021 - 2022	176,036,460	6.44%	347,551	1.97431		497,104	7,841	852,496	843,655			1,000	844,655	7,841	115,365	123,205
2022 - 2023	191,352,882	8.70%	461,160	2.41000		771,058		1,232,218	832,105	398,491		1,600	1,232,196	22	123,205	123,228
2023 - 2024	200,693,274	4.88%	509,761	2.54000		636,886		1,146,647	830,455	133,637	181,388	2,200	1,147,680	(1,033)	123,228	122,195
2024 - 2025	215,554,796	7.41%	547,509	2.54000		470,716		1,018,225	661,255	125,812	229,051	2,200	1,018,318	(93)	122,195	122,102
2025 - 2026	216,632,570	0.50%	547,632	2.52793		466,146		1,013,778	612,355	123,112	276,111	2,200	1,013,778		122,102	122,102
2026 - 2027	217,715,733	0.50%	547,864	2.51642		462,524		1,010,388	611,100	120,402	276,686	2,200	1,010,388		122,102	122,102
2027 - 2028	218,804,312	0.50%	542,656	2.48010		458,674		1,001,330	609,360	117,672	272,098	2,200	1,001,330		122,102	122,102
2028 - 2029	219,898,334	0.50%	551,311	2.50712		440,340		991,651	602,110	114,862	272,479	2,200	991,651		122,102	122,102
2029 - 2030	220,997,825	0.50%	549,755	2.48760		441,215		990,970	604,215	111,972	272,583	2,200	990,970		122,102	122,102
2030 - 2031	222,102,814	0.50%	547,564	2.46536		431,470		979,034	595,420	109,012	272,402	2,200	979,034		122,102	122,102
2031 - 2032	223,213,328	0.50%	549,417	2.46140		476,195		1,025,612	640,495	105,972	276,945	2,200	1,025,612		122,102	122,102
2032 - 2033	224,329,395	0.50%	400,085	1.78347				400,085		92,862	306,023	1,200	400,085		122,102	122,102

City of Adel, Iowa

Financial Planning for Capital Projects

General Obligation Tax Abatements

EXHIBIT 2a

Fiscal Year Payable	Series 2011C/2019 TIF	Series 2012B/2019 TIF	Series 2017 TIF	Series 2012A/2019 LOST	Total TIF Debt	Actual TIF Abatement	Reduction of LOST Abatement	Series 2012A/2019 LOST	Bonds Proceeds	Brick St. Special Assessments	Capital Improvement Fund	Total Abatements
2019 - 2020	167,428	213,348	197,940		578,716	529,455	(67,000)	168,988	30,155	19,126		680,724
2020 - 2021	172,800	214,200	193,440		580,440	466,240	(29,008)	264,155		18,703		720,090
2021 - 2022	169,600		188,940	100,000	458,540	458,540	(250,105)	270,655		18,014		497,104
2022 - 2023	166,400		184,440	131,704	482,544	482,544		271,455		17,059		771,058
2023 - 2024	163,200		179,940		343,140	343,140		277,155		16,591		636,886
2024 - 2025			176,940		176,940	176,940		277,655		16,121		470,716
2025 - 2026			172,440		172,440	172,440		278,055		15,651		466,146
2026 - 2027			163,990		163,990	163,990		283,355		15,179		462,524
2027 - 2028			160,510		160,510	160,510		283,455		14,709		458,674
2028 - 2029			156,885		156,885	156,885		283,455				440,340
2029 - 2030			153,115		153,115	153,115		288,100				441,215
2030 - 2031			144,200		144,200	144,200		287,270				431,470
2031 - 2032								476,195				476,195
2032 - 2033												

City of Adel, Iowa

Proposed General Obligation Bonds, Series 2022

EXHIBIT 3

SOURCES & USES

SOURCES	
Par Amount of Bonds	1,355,000.00
Accrued Interest	
Other Monies	
Total Sources	1,355,000.00
USES	
Construction Fund Deposit	1,300,000.00
Reserve Account Deposit	
Capitalized Interest Account Deposit	(0.00)
Municipal Bond Insurance	
Costs of Issuance	41,000.00
Underwriters' Discount (\$10.00 per bond)	13,550.00
Accrued Interest	
Rounding	450.00
Total Uses	1,355,000.00
ASSUMPTIONS	
Dated Date	7/1/2022
Delivery Date	7/1/2022
First Interest Date	12/1/2022
First Principal Date	6/1/2023
Last Principal Date	6/1/2033
YIELD CALCULATIONS	
Arbitrage Yield	2.93316%
TIC	3.16226%
AIC	3.87959%
Average Life	4.91 Years

Street Overlay Cost **1,300,000**
 2 Firetrucks
 1,300,000

DEBT SERVICE SCHEDULE

Date	Principal	Coupon	Interest	Debt Service	Annual Debt Service
12/1/2022			19,349	19,349	
0.9 6/1/2023	360,000	2.680%	19,142	379,142	398,491
12/1/2023			14,318	14,318	
1.9 6/1/2024	105,000	2.690%	14,318	119,318	133,637
12/1/2024			12,906	12,906	
2.9 6/1/2025	100,000	2.700%	12,906	112,906	125,812
12/1/2025			11,556	11,556	
3.9 6/1/2026	100,000	2.710%	11,556	111,556	123,112
12/1/2026			10,201	10,201	
4.9 6/1/2027	100,000	2.730%	10,201	110,201	120,402
12/1/2027			8,836	8,836	
5.9 6/1/2028	100,000	2.810%	8,836	108,836	117,672
12/1/2028			7,431	7,431	
6.9 6/1/2029	100,000	2.890%	7,431	107,431	114,862
12/1/2029			5,986	5,986	
7.9 6/1/2030	100,000	2.960%	5,986	105,986	111,972
12/1/2030			4,506	4,506	
8.9 6/1/2031	100,000	3.040%	4,506	104,506	109,012
12/1/2031			2,986	2,986	
9.9 6/1/2032	100,000	3.110%	2,986	102,986	105,972
12/1/2032			1,431	1,431	
10.9 6/1/2033	90,000	3.180%	1,431	91,431	92,862
12/1/2033					
11.9 6/1/2034					
12/1/2034					
12.9 6/1/2035					
12/1/2035					
13.9 6/1/2036					
12/1/2036					
14.9 6/1/2037					
12/1/2037					
15.9 6/1/2038					
12/1/2038					
16.9 6/1/2039					
12/1/2039					
17.9 6/1/2040					
12/1/2040					
18.9 6/1/2041					
12/1/2041					
19.9 6/1/2042					
			1,355,000	198,806	1,553,806
				1,553,806	1,553,806
Scale : Estimated					

City of Adel, Iowa

Proposed General Obligation Bonds, Series 2023

EXHIBIT 4

SOURCES & USES	
SOURCES	
Par Amount of Bonds	3,745,000.00
Accrued Interest	
Other Monies	
Total Sources	3,745,000.00
USES	
Construction Fund Deposit	3,660,000.00
Reserve Account Deposit	
Capitalized Interest Account Deposit	(0.00)
Municipal Bond Insurance	
Costs of Issuance	45,000.00
Underwriters' Discount (\$10.00 per bond)	37,450.00
Accrued Interest	
Rounding	2,550.00
Total Uses	3,745,000.00
ASSUMPTIONS	
Dated Date	1/5/2023
Delivery Date	1/5/2023
First Interest Date	12/1/2023
First Principal Date	6/1/2024
Last Principal Date	6/1/2042
YIELD CALCULATIONS	
Arbitrage Yield	3.54584%
TIC	3.65062%
AIC	3.77845%
Average Life	12.22 Years

Rapid Street Total Cost	4,385,000
Less Sewer	(350,000)
Less Water	(250,000)
Less Stormwater	(125,000)
	3,660,000

DEBT SERVICE SCHEDULE					
Date	Principal	Coupon	Interest	Debt Service	Annual Debt Service
12/1/2023			116,863	116,863	
6/1/2024		2.930%	64,526	64,526	181,388
12/1/2024			64,526	64,526	
6/1/2025	100,000	2.940%	64,526	164,526	229,051
12/1/2025			63,056	63,056	
6/1/2026	150,000	2.950%	63,056	213,056	276,111
12/1/2026			60,843	60,843	
6/1/2027	155,000	2.960%	60,843	215,843	276,686
12/1/2027			58,549	58,549	
6/1/2028	155,000	2.980%	58,549	213,549	272,098
12/1/2028			56,240	56,240	
6/1/2029	160,000	3.060%	56,240	216,240	272,479
12/1/2029			53,792	53,792	
6/1/2030	165,000	3.140%	53,792	218,792	272,583
12/1/2030			51,201	51,201	
6/1/2031	170,000	3.210%	51,201	221,201	272,402
12/1/2031			48,473	48,473	
6/1/2032	180,000	3.290%	48,473	228,473	276,945
12/1/2032			45,512	45,512	
6/1/2033	215,000	3.360%	45,512	260,512	306,023
12/1/2033			41,900	41,900	
6/1/2034	220,000	3.430%	41,900	261,900	303,799
12/1/2034			38,127	38,127	
6/1/2035	230,000	3.490%	38,127	268,127	306,253
12/1/2035			34,113	34,113	
6/1/2036	235,000	3.550%	34,113	269,113	303,226
12/1/2036			29,942	29,942	
6/1/2037	245,000	3.600%	29,942	274,942	304,884
12/1/2037			25,532	25,532	
6/1/2038	255,000	3.650%	25,532	280,532	306,064
12/1/2038			20,878	20,878	
6/1/2039	265,000	3.700%	20,878	285,878	306,756
12/1/2039			15,976	15,976	
6/1/2040	270,000	3.740%	15,976	285,976	301,951
12/1/2040			10,927	10,927	
6/1/2041	280,000	3.780%	10,927	290,927	301,853
12/1/2041			5,635	5,635	
6/1/2042	295,000	3.820%	5,635	300,635	306,269
12/1/2042					
6/1/2043					
	3,745,000		1,631,820	5,376,820	5,376,820

Scale : Estimated

ORDINANCE NO. 381

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF ADEL, IOWA, BY REZONING 4.41 ACRES FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO C-3 (HIGHWAY COMMERCIAL DISTRICT) SIX PACK ENTERPRISES, LLC

NOW, THEREFORE, be it ordained by the City Council of the City of Adel, Iowa, that:

Section 1. **ZONING MAP AMENDMENT.** The official zoning map of the City of Adel, Iowa, is hereby amended by changing the zoning classification of the following described real property, from its current classification for 4.41 acres of R-1 (Single Family Residential District) to C-3 (Highway Commercial District) to wit:

Legal Description:

A parcel of land being part of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty-eight (28) and the Northwest Quarter (NW 1/4) of the Northwest Quarter (NW 1/4) of Section Thirty-three (33), Township Seventy-nine (79) North, Range Twenty-seven (27) West of the 5th P.M., Dallas County, Iowa, described as follows:

Beginning at the Northwest corner of said Section 33, thence S 00°08'45" E, 27.66 feet along West line of said Section 33 to the North ROW of No. U.S. Hwy; thence N 89°34'30" E, along said ROW 569.42 feet; thence N 00°22'11" W, along said ROW 61.75 feet; thence N 89°34'30" E, along said ROW 186.30 feet; thence N 34°32'56" W, 135.75 feet; thence N 57°46'00" W, 163.00 feet; thence N 88°51'34" W, 185.00 feet; thence N 00°45'29" W, 97.00 feet; thence S 77°58'00" W, 359.00 feet; thence S 00°38'01" W, 264.20 feet to the point of beginning. Parcel contains 4.41 acres, as shown on Amended Retracement Survey filed for record in the office of the Recorder of Dallas County, Iowa on 10-31-2003 at Book 2003, page 22001.

The Zoning Administrator is directed to amend the Official Zoning Map to indicate said changes.

Section 2. **NOTATION.** The City Clerk shall hereby record the ordinance number and date of passage of this ordinance.

Section 3. **REPEALER.** All ordinances or parts of ordinances that are in conflict with this ordinance are hereby repealed.

Section 4. **SEVERABILITY.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

Section 5. **WHEN EFFECTIVE.** This Ordinance shall be in effect from and after its final passage, approval and publication as provided by law, whichever shall later occur.

Passed and approved by the Adel City Council this ____ day of _____, 2022.

James F. Peters, Mayor

Attest:

Carrie Erickson, City Clerk

1st Reading _____

2nd Reading _____

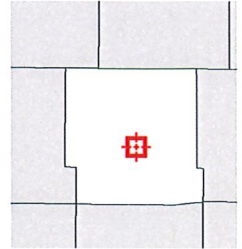
3rd Reading _____

I certify that the foregoing was published as Ordinance No. ____ in the _____
on the ____ day of _____, 2022.

Carrie Erickson, City Clerk



Overview

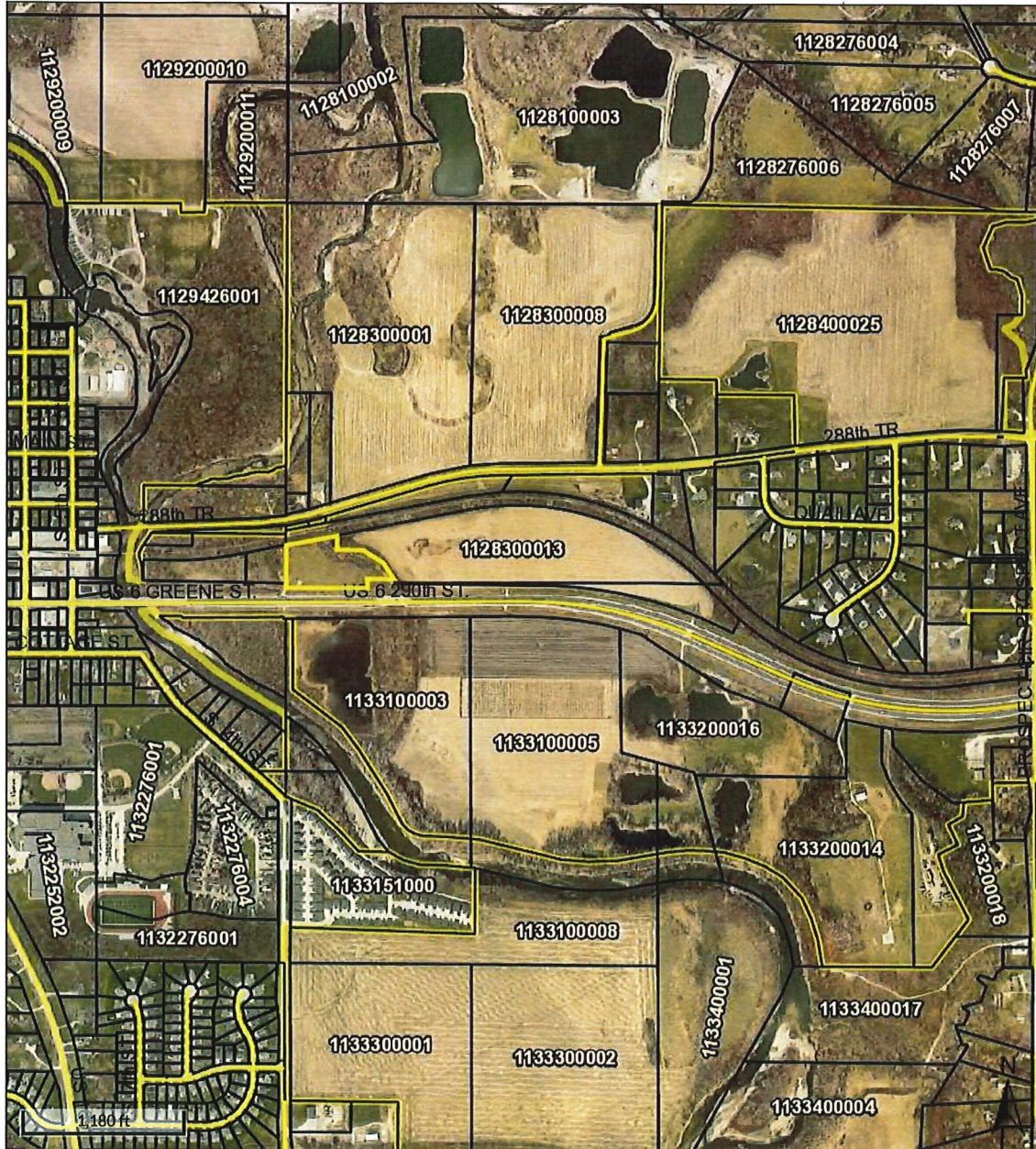


Legend

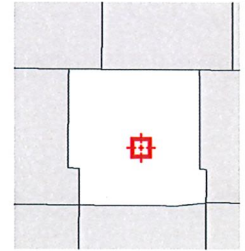
- Parcels
- City Limits

Date created: 2/4/2022
 Last Data Uploaded: 2/3/2022 11:42:05 PM

Developed by **Schneider**
 GEOSPATIAL



Overview



Legend

-  Parcels
-  City Limits

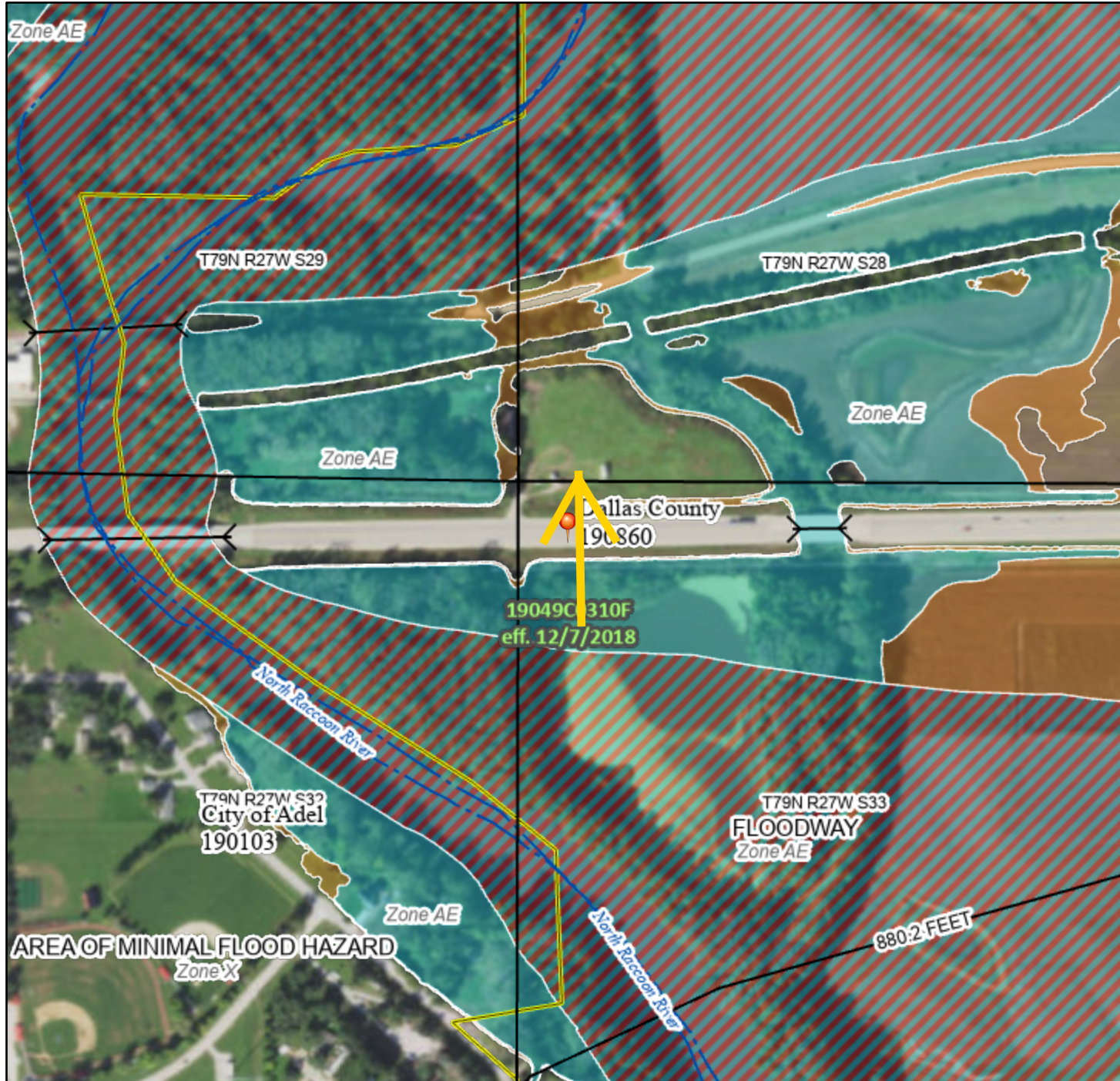
Date created: 2/4/2022
Last Data Uploaded: 2/3/2022 11:42:05 PM

Developed by  **Schneider**
GEOSPATIAL

National Flood Hazard Layer FIRMMette



94°0'47"W 41°37'5"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | |
|------------------------------------|--|
| SPECIAL FLOOD HAZARD AREAS | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | Effective LOMRs |
| | Area of Undetermined Flood Hazard <i>Zone D</i> |
| GENERAL STRUCTURES | Channel, Culvert, or Storm Sewer |
| | Levee, Dike, or Floodwall |
| OTHER FEATURES | Cross Sections with 1% Annual Chance Water Surface Elevation 20.2 |
| | 17.5 |
| | Coastal Transect |
| | Base Flood Elevation Line (BFE) |
| | Limit of Study |
| | Jurisdiction Boundary |
| | Coastal Transect Baseline |
| | Profile Baseline |
| | Hydrographic Feature |
| MAP PANELS | Digital Data Available |
| | No Digital Data Available |
| | Unmapped |

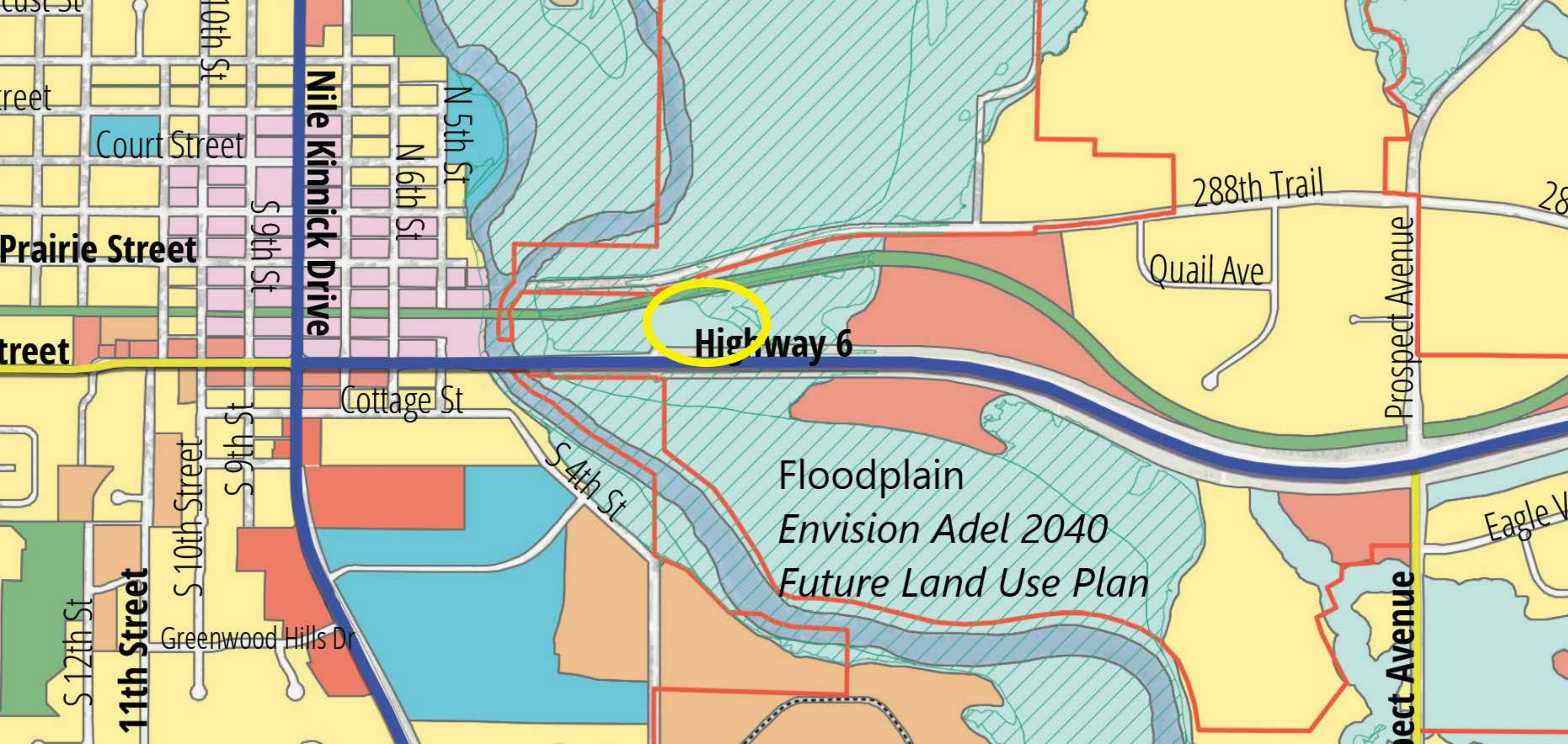


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **2/4/2022 at 3:41 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Highway 6

Floodplain
Envision Adel 2040
Future Land Use Plan

Nile Kinnick Drive

11th Street

Prospect Avenue

Prairie Street

Street

Eagle V

288th Trail

Quail Ave

Cottage St

S 4th St

S 9th St

S 10th Street

S 12th St

Greenwood Hills Dr

Court Street

N 5th St
N 6th St

10th St

S 9th St

reet

28

NATURAL RESOURCES

*CONDITIONS OVERVIEW
& RECOMMENDATIONS*



NATURAL RESOURCES

NATURAL RESOURCES OVERVIEW

The presence of key environmental features should help steer the direction and pace of development within a community. There is a balance between offering access to nature and respecting the risk and cost of developing too close to certain features. For instance, views of water come at a premium in land development but should be balanced with the need to protect property from flood damage and limit runoff flowing into the water due to the impermeable surfaces associated with development. By understanding the significant environmental features present within the planning area, Adel can identify the best possible ways to utilize and respect this sensitive land.

More and more, communities facing the high cost of traditional “gray” infrastructure are considering options that work to preserve and enhance the ecosystem services provided naturally by environmental features. This includes the cost of property damage by floods or flood wall construction compared to the ecosystem services of wetlands that naturally slow down flood water while capturing pollutants. The analysis of these features will help guide sustainable growth and development for Adel through the year 2040 and beyond. A series of natural resource-focused goals, policies and action items are listed at the end of this chapter. These objectives incorporate best practices for Adel to strive for as stewards of their community’s future.



FLOODPLAIN

Floodplains are generally found in the low-lying areas near streams. They play an important role in the water cycle during storms, snow melt and other high-water events. Floodplains help capture, store and treat water overflowing from the stream bank. As water is infiltrated into the soil, sediment and other contaminants are often removed. This water is then released slowly back into the channel or it may replenish underground water flows. This natural process helps prevent property damage from flood events and provides a diverse habitat for a variety of flora and fauna. There are many recreational and aesthetic benefits to humans as well. Floodplain location is legally determined by the Federal Emergency Management Agency (FEMA). FEMA categorizes areas by level of flood risk. Communities and various industries use this data to make decision about land use planning, conservation and development. The two most common flood hazard zones are the 100 and 500-year floodplain. Figure 4.1 shows the approximate location of the floodplain in Adel, Iowa as of 2017.

100-Year Floodplain

The one-hundred-year floodplain are areas with a 1% probability of flooding in any given year.

500-Year Floodplain

The five-hundred-year floodplain are areas with a 0.2% probability of flooding in any given year.

IMPACT ON THE PLAN

Most of the floodplain in Adel follows the path of the Raccoon River and its tributaries. Adel’s floodplain also has significant tree cover and provides the community with natural beauty. In general, development within the floodplain should be discouraged or limited to low intensity uses with minimal impermeable land cover such as concrete or pavement. Suitable uses include parks, recreation and agriculture. Permeable land cover such as turf or foliage should be encouraged. Fortunately, much of the floodplain in Adel is already set aside for these low-intensity uses such as the Kinnick-Feller Riverside Parkland the Island Park & Campground northeast of downtown Adel.

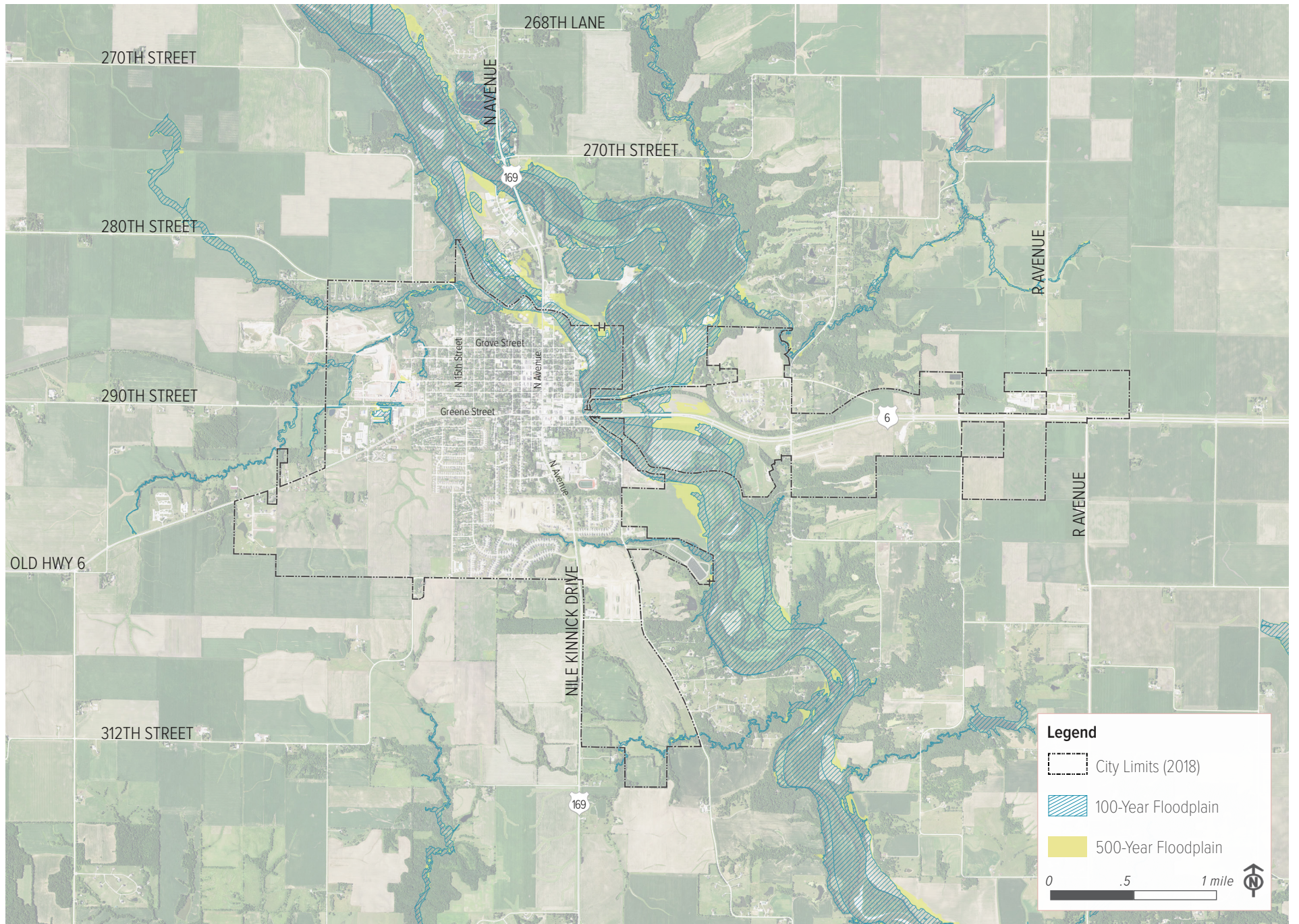
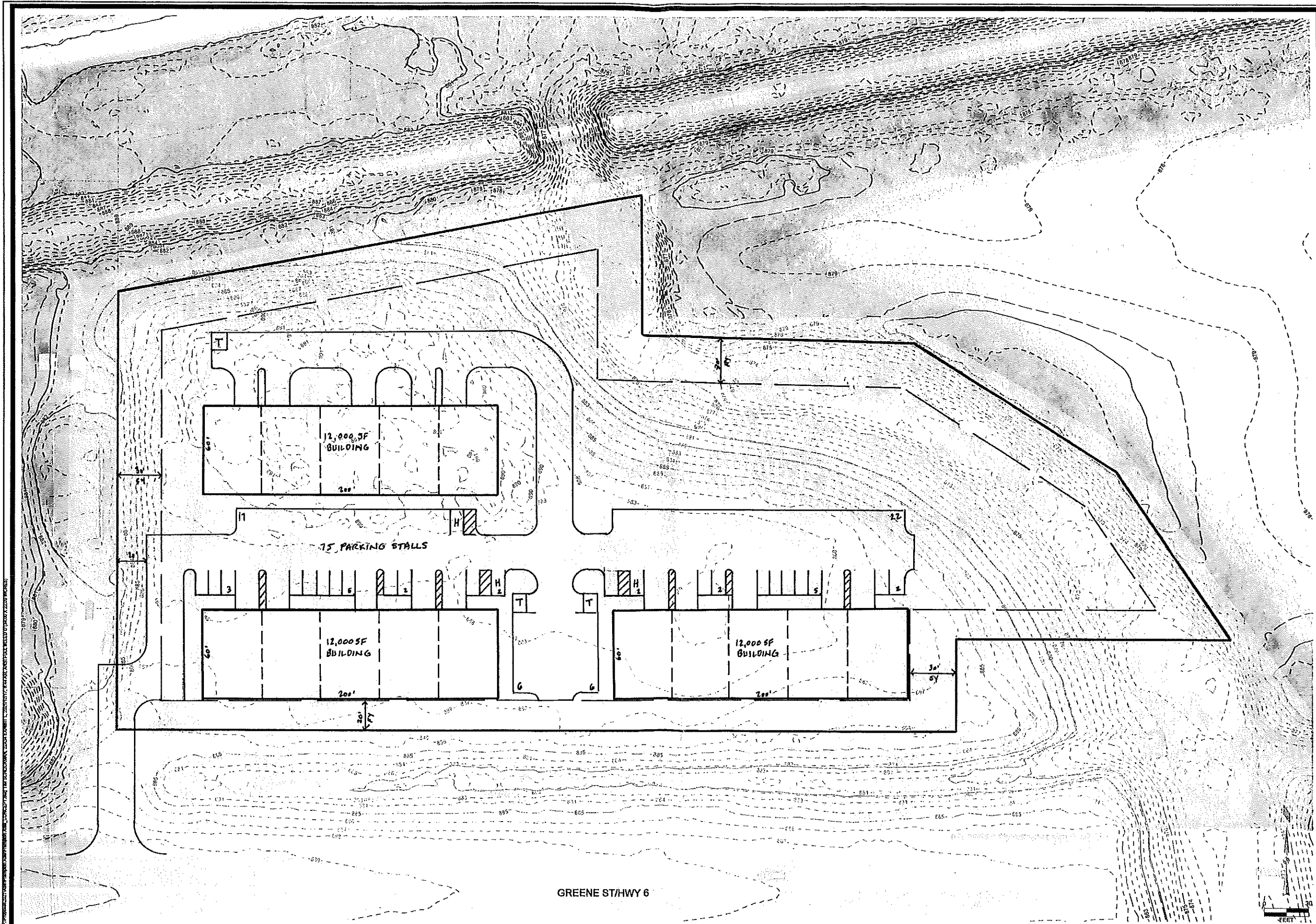


Figure 4.1 Floodplain

Data Source: FEMA



GREENE ST/HWY 6

MARK	REVISION	DATE	BY
Engineer: ENGR	Checked By: JAL	Scale: 1"=40'	
Technician: TLS	Date: 12/14/2021	T-R-S: TTR-RRW-SS	
Project No: 121.0000.00			Sheet C000

FRAMPTON ADEL
CONCEPT LAYOUT
SNYDER & ASSOCIATES, INC.

ADEL, IA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

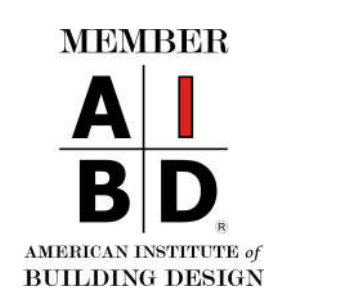
SNYDER & ASSOCIATES

Project No: 121.0000.00
 Sheet C000



RIESBERG GROUP DESIGN

Grimes, Iowa
riesberggroup@gmail.com
Phone: 515-202-3386



Project ID:
22-2039

Drawn by: KMR

REVIEW SET

Rev. Date : 02-09-22
Rev. Date :
Rev. Date :
Rev. Date :
Rev. Date :
Rev. Date :

BID SET:

Date :

PERMIT SET:

Date :

New Residential Home For:
Frampton Homes
Commercial Building
Project Location:
HWY 6
Adel, Iowa

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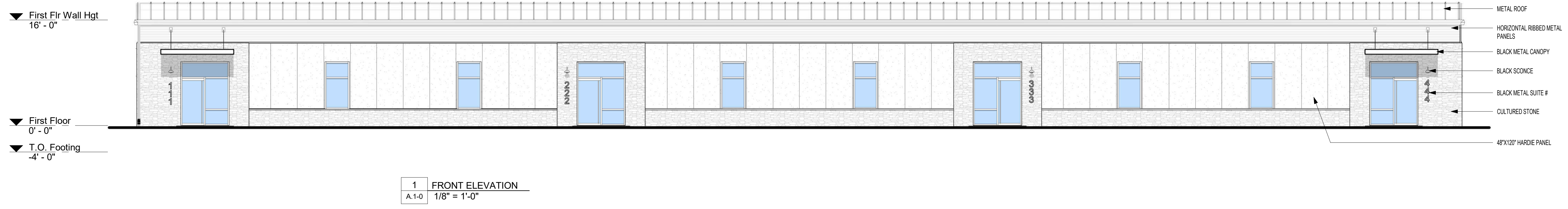
Elevations

A.1-0

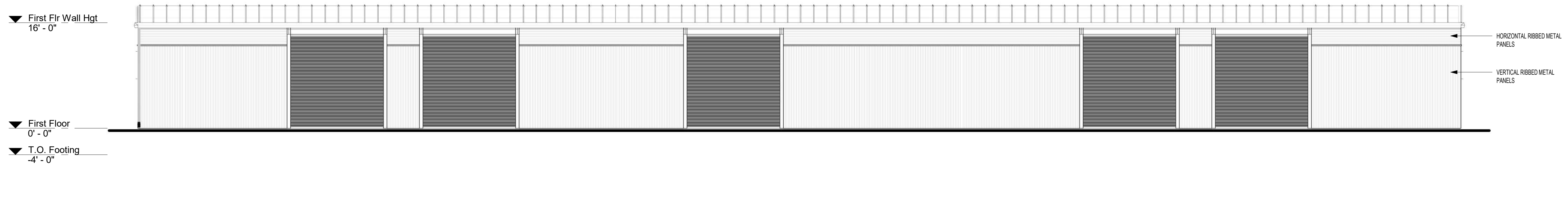
Scale: 1/8" = 1'-0"

GENERAL ELEVATION NOTES:

1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE'S A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
3. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. CALK & SEAL ALL TRANSITION CONTROL EXPANSION AT ALL EXTERIOR MATERIALS.
5. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
6. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.



1 FRONT ELEVATION
A.1-0 1/8" = 1'-0"



2 REAR ELEVATION
A.1-0 1/8" = 1'-0"

▼ First Flr Wall Hgt
16' - 0"

▼ First Floor
0' - 0"

▼ T.O. Footing
-4' - 0"

▼ First Flr Wall Hgt
16' - 0"

▼ First Floor
0' - 0"

▼ T.O. Footing
-4' - 0"

GENERAL ELEVATION NOTES:

1. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL WITH DRIP EDGE.
2. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS AND WHEREVER THERE'S A CHANGE IN ROOF SLOPE DIRECTION AND ROOF OPENINGS.
3. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
5. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND PIPE FREEZING.
6. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.

GENERAL NOTES:

- ROOF TRUSSES**
WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATED WOOD TRUSS SHALL COMPLY WITH ANSIFIT1
- REFER TO TRUSS MANUFACTURER TRUSS DESIGN DRAWINGS FOR THE FOLLOWING:
A. TRUSS BEARING REQUIREMENTS
B. HANGERS CONNECTION FOR TRUSS TO TRUSS CONNECTION
C. MULTIFLY TRUSS MILLING
D. TRUSS UPLIFT FOR TRUSS TIE DOWNS REQUIREMENTS
- TRUSS BRACING: TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY. REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS AND SCSA'S BCSI GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

- FLASHING**
1. FLASHING SHALL BE INSTALLED IN MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPING, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTION WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE.
2. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF OR DIRECTION AND AROUND ROOF OPENINGS.

- ROOFING UNDERLAYMENT**
1. UNDERLAYMENT FOR ASPHALT SHINGLES, CLAY AND CONCRETE TILE, METAL ROOF SHINGLES, MINERAL SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND METAL ROOF PANELS SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN THIS CHAPTER.
2. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D 226, D 1970, D 4895 AND D 5753 SHALL BEAR A LABEL INDICATING COMPLIANCE. UNDERLAYMENT SHALL BE ATTACHED IN ACCORDANCE WITH TABLE R905.1.1(3)

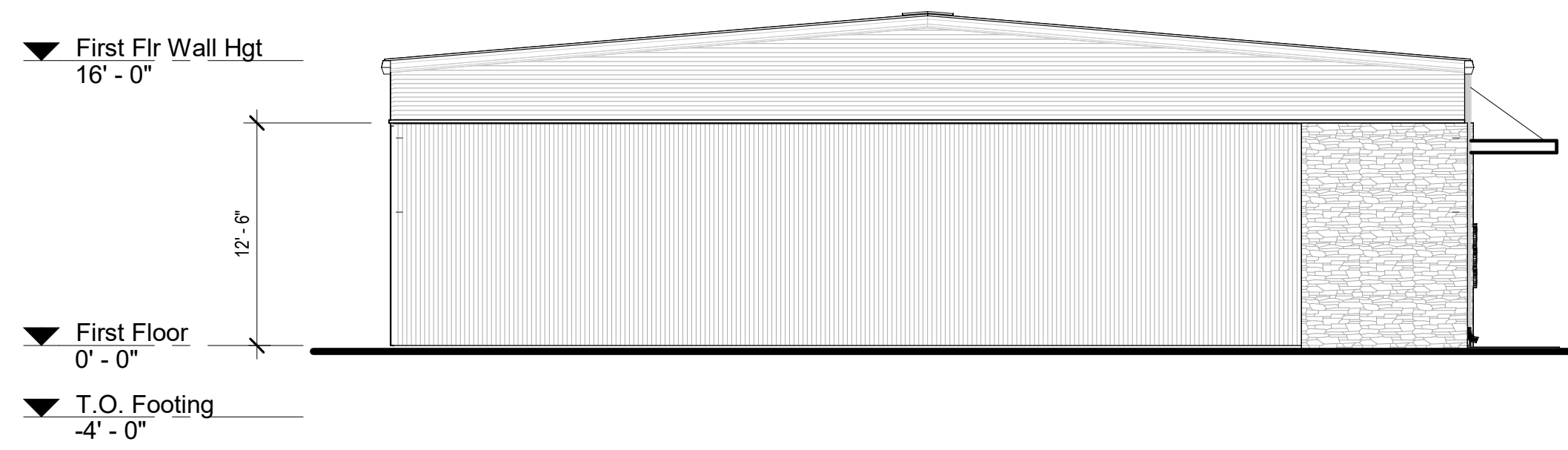
- ICE BARRIERS**
IF AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG EAVES CAUSING BACKUP OF WATER AS DESIGNATED IN TABLE R012(1), AN ICE BARRIER SHALL BE INSTALLED. THE ICE BARRIER SHALL CONSIST OF TWO LAYERS OF UNDERLAYMENT OR SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND NOT LESS THAN 24" INSIDE THE EXTERIOR WALL. ON ROOFS OVER 8/12, THE ICE BARRIER SHALL BE APPLIED NOT LESS THAN 36".

- ROOFING MATERIAL**
WHERE CALLED OUT ON PLANS, ASPHALT SHINGLES CAN BE USED ON ROOF SLOPES OF 2/12 OR GREATER. FOR SLOPES FROM 2/12 TO 4/12, DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1

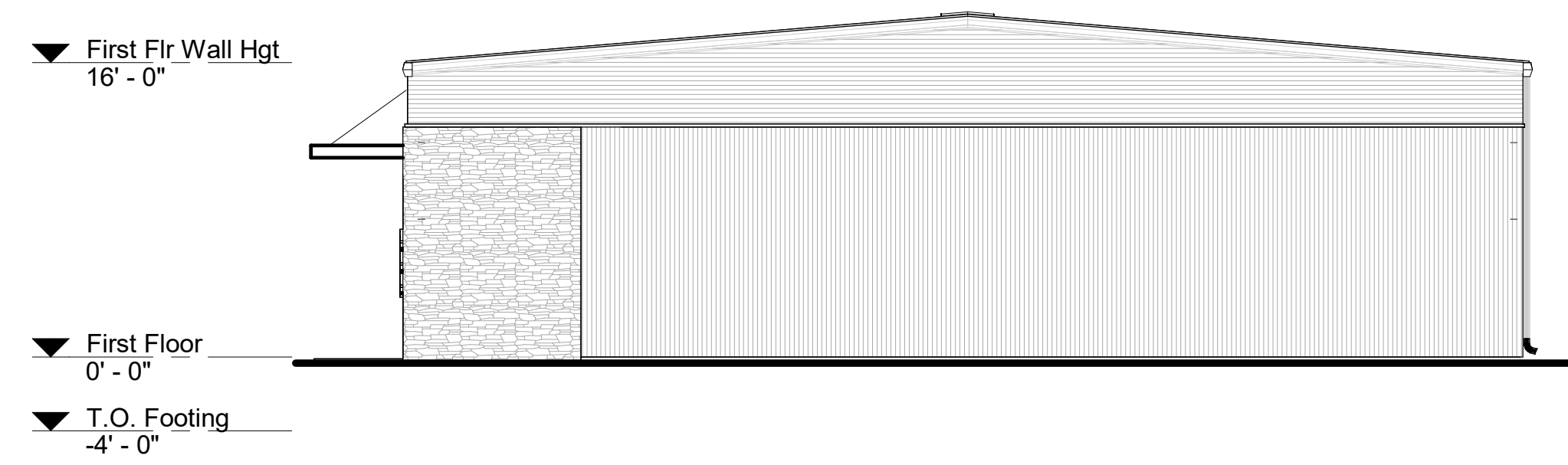
- A. SQUARE FOOTAGE LISTED IN SCHEDULE IS TAKEN FROM EXPOSED SURFACE OF THE ROOF AS SEEN FROM TOP VIEW.
1. AREA UNDER VALLEY THAT MAY BE SHEATHED WITH OSB IS NOT INCLUDED.
2. NO WASTE FACTOR HAS BEEN ADDED TO THESE NUMBER.

- ROOF VENTILATION**
ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. REQUIRED VENTILATION OPENINGS SHALL BE DIRECTLY TO THE OUTSIDE AIR.

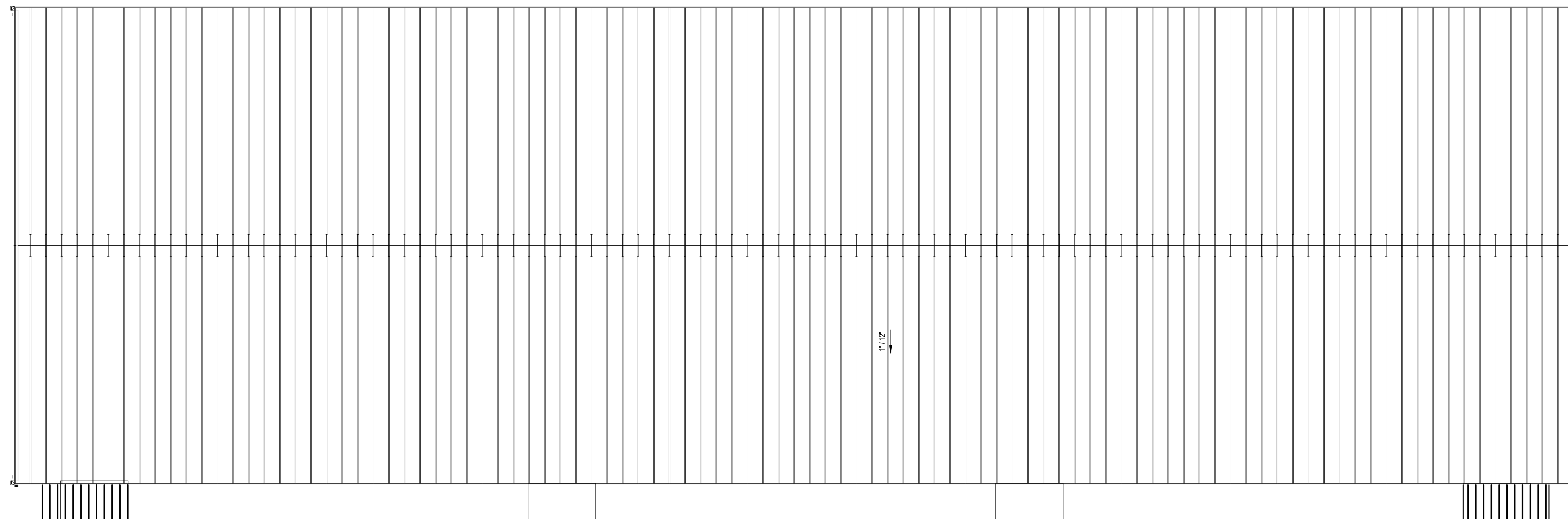
- A. THE SQUARE FOOTAGE OF ATTIC SPACE IN THE SCHEDULE IS TAKEN FROM THE OUTSIDE OF BUILDING AND DOES NOT INCLUDE COVERED ROOF AREA IN PORCHES/DECKS THAT ARE NOT CONDITION OR ENCLOSED.
B. INSTALL A BALANCED SYSTEM OF INTAKE AND EXHAUST VENTILATION (50% INTAKE & 50% EXHAUST) ABOVE CALCULATION AREA FOR EXHAUST ONLY.
C. INSTALL VENTS AT SAME HEIGHT IN COMMON ROOF ZONES -DON'T MIX DIFFERENT TYPES OF EXHAUST VENTS
D. SEPERATE SPACES/ZONES WITH POLY OR OTHER DRAFTSTOPPING MATERIAL



1 LEFT ELEVATION
A.1-1 1/8" = 1'-0"



2 RIGHT ELEVATION
A.1-1 1/8" = 1'-0"



3 ROOF PLAN
A.1-1 1/8" = 1'-0"



RIESBERG GROUP DESIGN
Grimes, Iowa
riesberggroup@gmail.com
Phone: 515-202-3386



Project ID:
22-2039

Drawn by: KMR

REVIEW SET

Rev. Date : 02-09-22
Rev. Date :
Rev. Date :
Rev. Date :
Rev. Date :

BID SET:

Date :

PERMIT SET:

Date :

New Residential Home For:
Frampton Homes
Commercial Building
Project Location:
HWY 6
Addi, Iowa

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Elevations

A.1-1

Scale: 1/8" = 1'-0"

Resolution No. 22-27

**RESOLUTION APPROVING PRELIMINARY PLAT FOR
SOUTHBRIDGE TOWNHOMES PLAT 1**

WHEREAS, a subdivision plat for a parcel of land was submitted by Knuth Development, Inc.; hereinafter referred to as the Developer; and

WHEREAS, the Developer submitted a preliminary plat, known as Southbridge Townhomes Plat 1; and

WHEREAS, on February 9, 2022, the Planning and Zoning Commission reviewed and recommended Southbridge Townhomes Plat 1 subject to review by City staff and McClure; and

WHEREAS, the preliminary plat's lots known as Outlot Z and Outlot Y are zoned R-5 (Townhouse Residential District); and

WHEREAS, City staff, McClure Engineering, and the members of the City Council of the City of Adel, Iowa, have reviewed and approved the preliminary plat of Southbridge Townhomes Plat 1.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Adel, Iowa, that the preliminary plat of Southbridge Townhomes Plat 1 be formally approved.

Passed and approved this ____ day of _____, 2022.

James F. Peters, Mayor

Attest: _____
Carrie Erickson, City Clerk

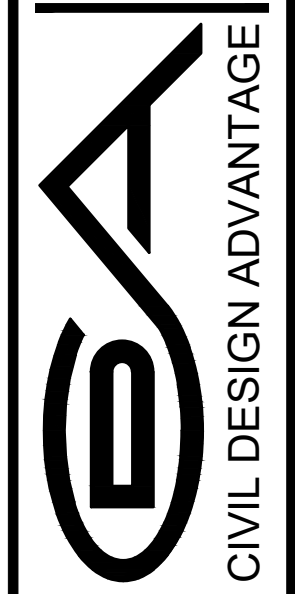
SOUTHBRIDGE TOWNHOMES PLAT 1

FINAL PLAT

INDEX LEGEND
 LOCATION: LOTS 1, 2, 3, 34 AND 35, SOUTHBRIDGE PLAT 3
 ADEL, DALLAS COUNTY, IOWA.
 REQUESTOR: KNUTH DEVELOPMENT, INC
 PROPRIETOR: KNUTH DEVELOPMENT, INC
 15320 U AVE
 WOODWARD, IA 50276
 SURVEYOR: LOUIS M. KELEHAN
 COMPANY: CIVIL DESIGN ADVANTAGE
 PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PH: 515-369-4400

REVISIONS	DATE
	02-01-22

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 ADEL, IOWA

SOUTHBRIDGE TOWNHOMES PLAT 1
 FINAL PLAT
 2110.777

OWNER / DEVELOPER

KNUTH DEVELOPMENT, INC
 15320 U AVE
 WOODWARD, IA 50276

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322

DATE OF SURVEY

JANUARY 31, 2022

ZONING & BULK REGULATIONS

ZONING: SOUTHBRIDGE P.U.D. (AREA C)

- BULK REGULATIONS**
- 25' FRONT YARD SETBACK
 - 35' REAR YARD SETBACK
 - 10' SIDE YARD SETBACK ON EACH SIDE
 - R-5 TOWNHOUSE RESIDENTIAL DISTRICT UNDERLYING ZONING

PLAT DESCRIPTION

LOTS 1, 2, 3, 34 AND 35, SOUTHBRIDGE PLAT 3, AN OFFICIAL PLAT IN THE CITY OF ADEL, DALLAS COUNTY, IOWA.

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

NOTES

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	90°05'15"	25.00'	39.31'	N45°57'18"E	35.38'
C2	17°48'02"	330.00'	102.52'	N79°21'28"W	102.11'
C3	89°10'09"	25.00'	38.91'	N43°40'25"W	35.10'
C4	90°49'51"	25.00'	39.63'	N46°19'35"E	35.61'
C5	35°59'50"	270.00'	169.63'	S70°15'34"E	166.86'
C6	6°30'20"	330.00'	37.47'	N32°47'03"W	37.45'
C7	17°09'42"	517.50'	155.01'	S14°13'20"E	154.43'

LEGEND

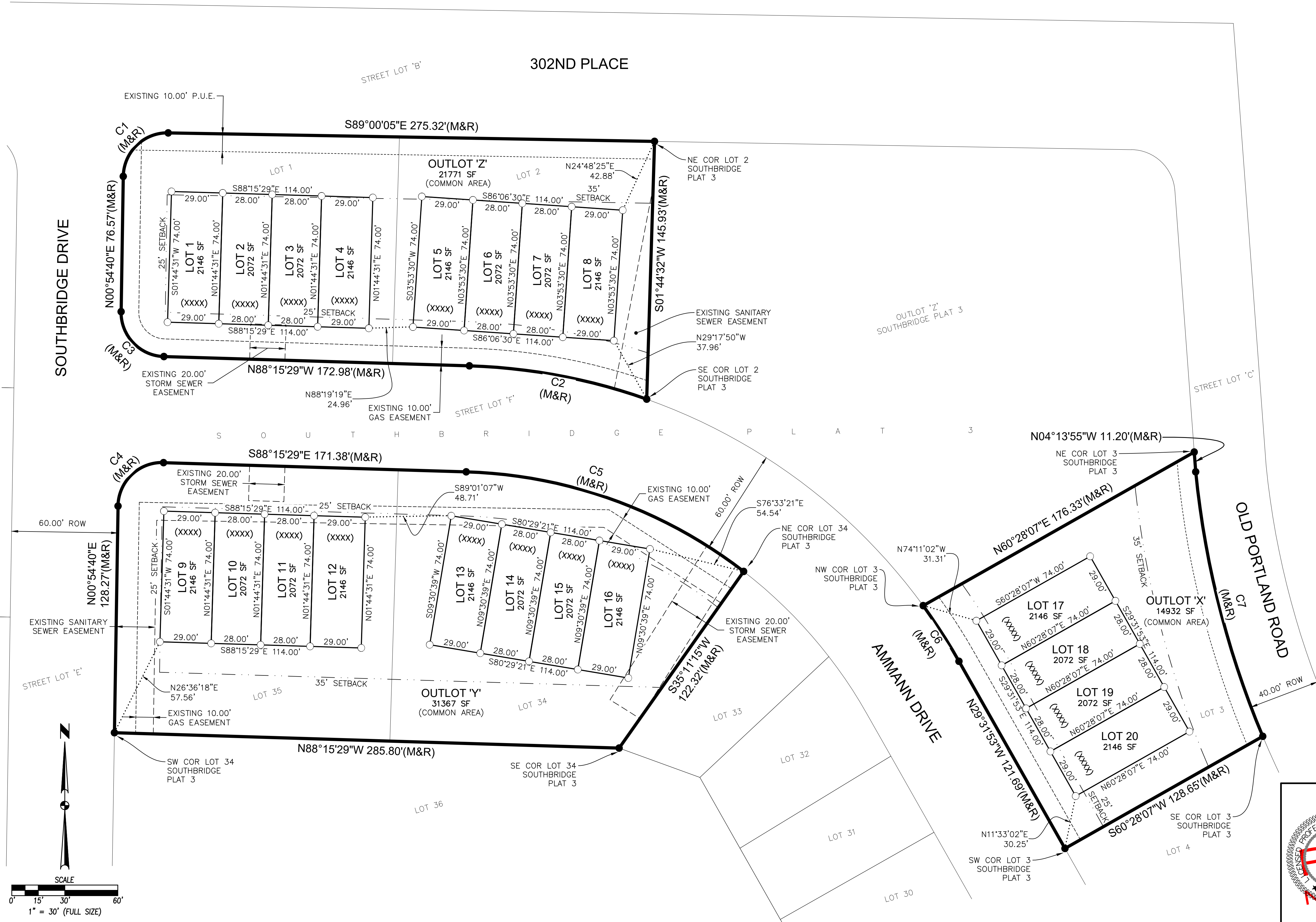
SECTION CORNER AS NOTED	FOUND	SET
1/2" REBAR, YELLOW PLASTIC CAP #18660 (UNLESS OTHERWISE NOTED)	▲	△
MEASURED BEARING & DISTANCE	M	○
RECORDED BEARING & DISTANCE	R	○
DEEDED BEARING & DISTANCE	D	○
PUBLIC UTILITY EASEMENT	P.U.E.	○
CURVE ARC LENGTH	AL	○
LOT ADDRESS	(1234)	○
CENTERLINE	---	---
SECTION LINE	---	---
EASEMENT LINE	---	---
BUILDING SETBACK LINE	---	---
PLAT BOUNDARY	---	---

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

NOT FOR CONSTRUCTION

LOUIS M. KELEHAN
 LICENSE NUMBER 18660
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
 PAGES OR SHEETS COVERED BY THIS SEAL: THIS SHEET



SCALE
 0' 15' 30' 60'
 1" = 30' (FULL SIZE)

COMMENTS:
 REVISIONS:
 DATE PLOTTED: 2/7/2022 1:44 PM
 PLOTTED BY: JACOB MANDERBACH



The Adel Planning and Zoning met at City Hall on Wednesday, February 9, 2022
At 6:00 **PM.**

Commissioner's present were Tom Waltz, Tim Crannell, Jonathan Fokken, Stephanie Poole, James West, Summer Portzen and Code Compliance Officer Steve Nichols.
Absent: Christina Woods.

Minutes for February 9, 2022, Meeting

- I. Discussion / Possible Action on Southbridge Townhomes Plat 1 Preliminary Plat.** Nichols presented the preliminary plat for Southbridge Townhomes Plat 1. This area was set aside for townhomes to be built in the Southbridge Plat 3 PUD. Lot 1 and 2 have been combined and now is known as Out lot Z and lot 34 and 35 have been combined and now is known as Out lot Y. These units need to be divided to sale individual units. This plat meets all the criteria for R-5 zoning Townhome District. An association will be developed for lawn care and maintenance on the property. **Fokken made the motion to approve the Southbridge Townhomes Plat 1 and send to Council for approval. Second by West, motion passed unanimously.**
- II. Discussion / Possible Action on Southbridge Townhomes Plat 1 Final Plat.** Nichols presented the same plat as the final plat. There was no further discussion. **Waltz made the motion to approve the final Southbridge Townhomes Plat 1 and send to Council for final approval. Second by Fokken, motion passed unanimously.**

Meeting adjourned at 6:30 PM
Respectfully
Steve Nichols



Ahlers & Cooney, P.C.
Attorneys at Law

100 Court Avenue, Suite 600
Des Moines, Iowa 50309-2231

Phone: 515-243-7611

Fax: 515-243-2149

www.ahlerslaw.com

Kristin B. Cooper
515.246.0330
kcooper@ahlerslaw.com

February 18, 2022

VIA E-MAIL

Mr. Anthony Brown
City Administrator
City of Adel
P.O. Box 248 - 301 S. 10th Street
Adel, IA 50003

Re: Adel, Iowa - General Obligation Capital Loan Notes

Dear Anthony:

We have prepared and are including with this letter suggested proceedings to be acted upon by the Council on the date fixed for the hearing on the authorization to enter into a loan agreement and the issuance of the above-mentioned Notes, pursuant to the provisions of Code Sections 384.24A and 384.25. A certificate to attest the proceedings is also enclosed.

The proceedings are prepared to show as a first step the receipt of any oral or written objections from any resident or property owner to the proposed action of the Council to enter into a loan agreement and issue the Notes. A summary of objections received or made, if any, should be attached to the proceedings. After all objections have been received and considered if the Council decides not to abandon the proposal to issue the Notes, a form of resolution follows that should be introduced and adopted, entitled "Resolution Instituting Proceedings to Take Additional Action for the Issuance of not to exceed \$2,250,000 General Obligation Capital Loan Notes."

Action Must Be Taken At The Hearing.

The Council is required by statute to adopt the resolution instituting proceedings to enter into a loan agreement and issue the Notes at the hearing or an adjournment thereof. If necessary to adjourn, the minutes are written to accommodate that action.

In the event the Council decides to abandon the proposal, then the form of resolution included in the proceedings should not be adopted. We would suggest that, in this event, a motion merely be adopted to the effect that such proposal is abandoned.

Appeal to District Court.

Section 384.25 of the Code of Iowa, provides that any resident or property owner of the City may appeal the decision to take additional action to issue the Notes, to the District Court of a county in which any part of the city is located, within 15 days after such additional action is taken, but that the additional action is final and conclusive unless the court finds that the Council exceeded its authority. In the event that an appeal is filed by any resident or property owner, please let us know as soon as possible.

Pre-Levy.

Also attached are the proceedings to certify the tax levy for the payment of General Obligation Capital Loan Notes to be issued after the budget filing deadline, along with a Certificate for the Dallas County Auditor to verify that the pre-levy resolution was filed. The "pre-levy" resolution imposes a levy for the Fiscal Year beginning July 1, 2022 and ending June 30, 2023. The amount should be included in the budget or in an amended budget. This resolution will satisfy the requirements for the resolution and levy as required by Iowa Code Chapter 76. When the Notes are issued (the sizing of which may change as directed by the Council), the authorizing resolution will incorporate this levy and will include the levy based on actual rates at the sale. We have included a levy amount of \$398,491 for Fiscal Year 2022/2023. Please let me or PFM know if you have any questions on or revisions to this figure.

It is essential that the Resolution be adopted and filed with the Dallas County Auditor prior to April 1, 2022. **However, to be included in the certified budget, the Resolution should be adopted and filed prior to certification of the budget.**

Please print out two copies of the Hearing proceedings and three copies of the Pre-Levy proceedings along with the County Auditor's certificate (one to be returned to us and one for the Auditor). We would also appreciate electronic scans.

Very truly yours,

Ahlers & Cooney, P.C.



Kristin Billingsley Cooper
FOR THE FIRM

KBC:seb

Enclosures

cc: Jon Burmeister, Public Financial Management (via e-mail w/enc.)

Brittany Sandquist, Finance Director, City of Adel (via e-mail w/enc.)

Resolution No. 22-16

A RESOLUTION APPROVING AMENDMENT NO. 1 TO THE ENGINEERING SERVICES AGREEMENT BETWEEN THE CITY OF ADEL AND MCCLURE ENGINEERING FOR THE ADEL 2022 PAVEMENT RESURFACING PROJECT

WHEREAS, the City of Adel plans to complete a project known as the 2022 Pavement Resurfacing Project that calls for engineering plans and construction administration; and

WHEREAS, an Engineering Services Agreement between the City of Adel and McClure Engineering was approved on December 14, 2021; and

WHEREAS, an amendment to the agreement has been prepared and the Adel City Council wishes to formally accept and approve this amendment.

NOW THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF ADEL, IOWA, that the attached Amendment No. 1 to the Engineering Services Agreement between the City of Adel and McClure Engineering is hereby approved and accepted for the Adel 2022 Pavement Resurfacing Project.

Passed and approved this 28th day of February, 2022.

James F. Peters, Mayor

Attest: _____
Carrie Erickson, City Clerk

**AMENDMENT NO. 1
TO THE
AGREEMENT FOR ENGINEERING SERVICES
FOR
Adel 2022 Street Resurfacing
Adel, IA**

This **Amendment** is made this 28th day of February, 2022 and shall amend the **Agreement** dated the 14th day of December, 2021, by and between *McClure, of Clive, Iowa* (herein referred to as "**Engineer**") and the *City of Adel, Iowa* (hereinafter referred to as "**Owner**"), for the proposed **Adel 2022 Street Resurfacing** project.

This Amendment authorizes the **Engineer** and establishes fees for the scope of services stated below. The Project Scope shall be amended as follows:

Exhibit C (Scope of Services), Section I (Project Description)

Add the following subsections:

- B. This scope of services is for the design services for the street and sidewalk improvements at the locations that were identified by the City Staff as shown in Exhibit "G" of the original agreement and as described below:
- a. Location 1: S. 16th Street – Green Street to Horse and Buggy Drive:
 - i. Install new sidewalk and ADA compliant ramps at Green Street and 16th Street.
 - ii. No sidewalk or sidewalk ramp replacement at S 16th Street and Horse and Buggy Dr.
 - iii. Replace broken curb and gutter.
 - iv. Install 3-inch overlay at center of roadway and 2-inch milling at gutter with 2-inch overlay to maintain drainage and prevent ponding in driveways.
 - b. Location 2: S. 16th Street – HyVue Street to Cedar Drive:
 - i. Install new ADA compliant sidewalk ramps at:
 - 1. HyVue Street and S. 16th Street - the four corners of (crossing all directions)
 - 2. Aspen Drive and S. 16th Street - the four corners of (crossing all directions)
 - 3. Maple Drive and S. 16th Street – North-South crossing for east leg (no east-west crossing)
 - ii. Replace broken curb and gutter.
 - iii. Full-depth patching and reconstruction between Aspen Drive and Maple Drive.
 - iv. Install 3-inch overlay at remaining locations within the corridor. Verification of drainage at intersections and driveways.
 - c. Location 3: Aspen Drive – S. 16th Street to S. 14th Street:
 - i. Install new ADA compliant sidewalk ramps at S. 16th Street – North-South crossing for east leg and no east-west crossing. Sidewalk ramps at S. 14th Street are to be used as constructed.
 - ii. Replace broken curb and gutter.
 - iii. Full-depth patching new S 16th Street intersection.
 - iv. Install 3-inch overlay at center of roadway and 2-inch overlay at gutter.
 - v. Adjust intakes to match new gutter flowline.
 - d. Location 4: Downtown Square and S. 9th Street and Prairie Street intersection:
 - i. Remove existing detectable warnings, install PCC sidewalk pavement base with cast iron detectable warnings, and reinstall removed brick. Detectable warnings are to be specially made due to curve radii.

- e. Location 5: Green Street – Visions Parkway to Nile Kinnick Drive:
 - i. Between Visions Parkway and S. 12th Street:
 - 1. Multiple full-depth patches with some full-depth patches around manholes in the middle of the roadway.
 - 2. Multiple mill and fill HMA locations.
 - 3. Multiple curb and gutter replacements.
 - ii. Intake replacement or north intake west of S. 12th Street intersection with curb and gutter replacement and replace south intake curb and gutter, and boxout.
 - iii. Install new ADA compliant sidewalk ramps at:
 - 1. Intersections at S. 12th Street - South leg's east-west crossing only.
 - 2. Intersection at S. 11th Street - South leg's east-west crossing. South leg's southeast corner's north-south crossing. North-south crossing north of southeast crossing's corner may need to be relocated to accommodate new location of Southeast corner's north-south crossing. North leg's east-west crossing.
 - 3. Intersection at S. 10th Street – Northwest corner's east-west crossing, northeast corner's east-west and north south crossing, southeast corner's east-west and north-south crossing, southwest corner's east-west crossing. No west leg north-south crossing.
 - 4. Intersection at S. 9th Street – All four corner and all directions.
 - 5. Nile Kinnick Drive – Northwest corner's east-west and north-south crossing and southwest corner's east-west and north-south crossing.
 - iv. Mill 3-inch and 3-inch HMA overlay from west of Nile Kinnick Drive to west of S. 12th Street.
 - v. Installing new pavement markings along Green Street from Visions Parkway to Nile Kinnick Drive.
 - vi. Curb and gutter replacement on both southwest and northwest corners of Nile Kinnick Drive and Greene Street intersection as well as at locations between S 9th Street to S. 11th Street.
 - vii. Replacing curb on southwest corner of Nile Kinnick Drive and Greene Street will impact traffic loops with new traffic loop installation needed.
 - viii. Install retaining wall at:
 - 1. Southwest corner of Greene Street and S. 11th Street to accommodate ADA compliant sidewalk and protect existing trees.
 - 2. Southwest corner of Greene Street and S. 9th Street to accommodate ADA complaint sidewalk.
 - ix. Retaining wall at southeast corner of Greene Street and S. 11th Street is expected to be used as constructed as sidewalk will be relocated to protect existing retaining wall.
- f. Location 6: Library and City Hall Sidewalk:
 - i. Replace sidewalk with ADA compliant sidewalk at all locations except along S. 9th Street.
 - ii. Remove stoop and replace with ramp or include bollard at steps.
 - iii. Replace four (4) antique light poles (provided by City) on existing foundations.
 - iv. Replace sidewalk at two entrance crossings north of Library/City Hall site, on S. 10th Street.
 - v. Additional concrete depth is located at this site for the old loading dock.

- g. Location 7: Police Station:
 - i. Install ADA compliant sidewalk ramps at:
 - 1. Parking lot entrance
 - 2. Alley way
 - ii. Remove sidewalk and install parking stalls in alley.
 - iii. Replace curb, gutter, and sidewalk between police station and 10th Street.
- C. The ENGINEER will complete the design, plans, contract documents, and bidding assistance for the proposed PROJECT. Construction Administration, construction staking, resident project representative, and closeout services will be performed under a separate agreement or amendment.
- D. The PROJECT will be let by means of a local letting, and the 2022 edition of Statewide Urban Design and Specifications (SUDAS) will be applicable to the design.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection D (Phase 400 – Preliminary Design)

Add the following subsections:

1. The ENGINEER shall perform preliminary design work necessary to further define the project scope and order of magnitude costs for the project.
2. Task 401 – Preliminary Design
 - a. Preliminary Roadway Geometrics
 - i. The ENGINEER will develop roadway geometrics for the PROJECT based upon the approved design criteria.
 - b. Preliminary Horizontal Alignment and Vertical Profiles
 - i. The ENGINEER will develop the horizontal alignment along each corridor and develop vertical profiles along S 16th Street large patch location.
 - c. Roadway Modeling and Cross Sections:
 - i. The ENGINEER will integrate refined alignments and profiles, and existing terrain to prepare a preliminary roadway model and cross sections for inclusion in the preliminary plans for S 16th Street patching location.
 - ii. All cross sections will be at 25-foot intervals and entrance centerlines.
 - d. Preliminary Water Main and Sanitary Sewer Design
 - i. The ENGINEER will not develop preliminary design improvements for new water main and sanitary sewer.
 - e. Preliminary Storm Sewer Design
 - i. A drainage report will not be developed for this PROJECT.
 - f. Preliminary Construction Staging and Traffic Control
 - i. The ENGINEER will develop a preliminary construction staging plan and preliminary traffic control notes. The plan will include property access during construction for the residential properties along the corridor.
 - ii. The ENGINEER will develop detour routes and signing for each stage of construction.
 - g. The ENGINEER will design and prepare 50% plan drawings for the locations and improvements as outlined in Exhibit 'C' (Scope of Services), Section 1 (Project Description) of this amendment and Exhibit 'G' of the original agreement. The 50% plans will include the following:
 - i. A-Sheets (Title Sheet)
 - ii. B-Sheets (Typical roadway sections and special details)
 - iii. C-Sheets (General notes)
 - iv. D-Sheets (Plan and Profile (if necessary) for patching and reconstruction limits, curb and gutter replacement locations, patching locations, mill and overlay locations, and intake and manhole improvement locations)
 - v. E-Sheets (Site Plan for Police Station and Library/City Hall sidewalk site)

- vi. G-Sheets (Survey control and alignments (as necessary))
- vii. J-Sheets (Staging layout and traffic control (including roadway closures and signing))
- viii. O-Sheets (Two (2) retaining wall plan and profiles)
- ix. S-Sheets (Sidewalk plan view layout as vertical design and tabulations to be performed during final design)
- x. W-Sheet (Preliminary cross sections for reconstructed streets at 25-ft intervals)
- h. Order of Magnitude Opinion of Probable Construction Costs
 - i. The ENGINEER will prepare one (1) Preliminary Plan Opinion of Probable Construction Cost with a 15% construction contingency for the project.
- i. Furnish 50% Documents
 - i. The ENGINEER will submit and distribute a preliminary plan set to the OWNER for review and comment.
- j. Quality Control for 50% Design
 - i. The ENGINEER will provide quality control for technical accuracy and general constructability for the preliminary project submittal.
 - ii. The ENGINEER shall review all comments received from the OWNER from the 50% design submittal review and incorporate applicable comments into plans, specifications, and Engineer's Opinion of Probable Construction Costs.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection E (Phase 500 – Final Design)

Add the following subsections:

1. Upon receipt of preliminary plan review comments from the OWNER, the ENGINEER shall proceed with final design, contract documents, specifications, and opinion of probable construction costs for the award of a single contract for the construction of the proposed improvements. Comments received from the Preliminary Design Phase plans will be implemented in the Final Design Phase plans.
2. Task 501 – Final Design
 - a. The ENGINEER will prepare 95% (Check) plan drawings for the locations and improvements as outlined in Exhibit 'C' (Scope of Services), Section 1 (Project Description) of this amendment and Exhibit 'G' of the original agreement. The 95% (Check) plans will include the following:
 - i. A-Sheets (Title Sheet)
 - ii. B-Sheets (Typical roadway sections and special details)
 - iii. C-Sheets (Estimated construction quantities, estimate reference information, pertinent quantity tabulations, and general notes)
 - iv. D-Sheets (Plan and Profile (if necessary) for patching and reconstruction limits, curb and gutter replacement locations, patching locations, sidewalk removal and replacement locations, mill and overlay locations, and intake and manhole improvement locations)
 - v. E-Sheets (Site Plan for Police Station and Library/City Hall sidewalk site)
 - vi. G-Sheets (Survey control and alignments (as necessary))
 - vii. J-Sheets (Staging layout and traffic control (including roadway closures and signing))
 - viii. L-Sheets (Intersection jointing and geometric details)
 - ix. N-Sheets (Signal plans due to new loop)
 - x. O-Sheets (Two (2) retaining wall plan and profiles)
 - xi. S-Sheets (Sidewalk layout and tabulation)
 - xii. W-Sheet (Final cross sections for reconstructed streets at 25-ft intervals)

- b. The ENGINEER shall prepare a Project Manual that will include:
 - i. Notice to Bidders
 - ii. Notice of Hearing and Letting
 - iii. Instruction to Bidders
 - iv. Proposal
 - v. Bid Bond
 - vi. Contract
 - vii. Performance, Payment, and Maintenance Bond
 - viii. Notice to Proceed
 - ix. Special Provisions
 - 1. Part 1 – General Conditions
 - 2. Part 2 – General Requirements
 - 3. Part 3 – Special Construction
 - 4. Part 4 – Project Specifications
 - 5. Part 5 – Project Location Requirements
- c. Order of Magnitude Opinion of Probable Construction Costs
 - i. The ENGINEER will prepare one (1) Check Plan Opinion of Probable Construction Cost for the PROJECT. This estimate will be based on final quantities with 0% construction contingency for the project.
- d. Furnish 95% Documents
 - i. The ENGINEER will submit and distribute a 95% (Check) plan set and bidding document to the OWNER for review and comment.
- e. Quality Control Final Design
 - i. The ENGINEER will provide quality control for technical accuracy and general constructability for the preliminary PROJECT submittal.
 - ii. The ENGINEER shall review all comments received from the OWNER from the 95% design submittal review and incorporate applicable comments into plans, specifications, and Engineer’s Opinion of Probable Construction Costs.
- f. Project Permitting
 - i. It is anticipated that there will be no permits required for this project and are not included as part of the project scope.
- g. Final Plans:
 - i. Furnish Final Plans and Project Manual
 - 1. The ENGINEER shall assemble the documents for final submittal to the OWNER. Deliverables will be submitted electronically as well as three (3) hard copies with a submittal letter.
 - ii. Order of Magnitude Opinion of Probable Construction Costs
 - 1. The ENGINEER will prepare one (1) Final Plan Opinion of Probable Construction Cost for the PROJECT. This estimate will be based on final quantities with 0% construction contingency for the project. The estimate shall be based on engineering judgement and does not represent a guarantee of actual construction costs. The ENGINEER has no control over the cost of labor, materials, equipment, market conditions, and the Contractor’s method of determining prices.
- h. One bid alternate may be designed as part of this project.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection F (Phase 590 – Land Acquisition)

Add the following subsections:

- 1. Task 594 – Property Acquisition Exhibits and Individual Parcel Exhibits
 - a. The ENGINEER shall prepare an exhibit for property acquisition and will consist of a

full-size strip plot with the major property acquisition elements on the aerial photograph. Includes coloring, lettering, and other techniques to delineate the proposed property acquisition needs, including property ownership name and address, existing property lines, proposed fee title right-of-way needs, and permanent/temporary easement needs.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection G (Phase 600 – Construction Administration)

Add the following subsections:

1. Task 602 – Advertising, Bidding, Contract Award
 - a. The ENGINEER shall assist OWNER in one (1) round of advertising for and obtaining bids from prospective Contractors.
 - i. Prepare Advertisement.
 - ii. ENGINEER will post Notice of Letting and OWNER will publish Public Hearing in accordance with Iowa Code.
 - iii. Maintain Planholder’s List.
 - b. The ENGINEER shall provide Drawings, Specifications, and Bid Documents
 - i. The ENGINEER will upload drawings, specifications, and bid documents to Quest CDN and distribute documents to prospective Contractors. Hard copies will be available for Contractors for pick-up.
 - c. The ENGINEER shall prepare and issue addenda as needed
 - i. The ENGINEER shall prepare all required addenda to revise plans, specifications, and other contract documents in order to (1) provide clarifications, (2) correct discrepancies, and/or (3) add necessary details or contract alterations.
 - d. Bidder Questions
 - i. The ENGINEER shall respond to bidder questions and publish written answers to all planholders at the discretion of the OWNER.
 - e. The ENGINEER shall attend bid opening at OWNER’s location (1 meeting).
 - i. The ENGINEER will develop bidding summary sheets for Contractor’s to record bids at the meeting.
 - f. Prepare bid tabulation
 - i. The ENGINEER shall develop tabulation of all bids received within three (3) working days.
 - g. Review Bidders Qualifications
 - i. The ENGINEER shall evaluation of checking for correctness, qualifications of apparent low bidders, etc.
 - h. The ENGINEER shall prepare contract and Performance, Payment, and Maintenance Bond and distribute executed construction contracts and provide letter of recommendation in making award of contract.
 - i. The ENGINEER will be compensated for any re-bidding as requested by the OWNER based on established hourly rates and fixed expenses outlined in the ENGINEER’s Standard Fee Schedule.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection I (Phase 700 – Survey Services)

Add the following subsections:

1. Task 730 – Topographic Survey

e. Boundary Survey

- i. The ENGINEER will perform boundary survey required for the development of the PROJECT. The boundary survey shall be in-depth legal surveys for which plats are to be developed.
- ii. This task includes a thorough search of City, County, and State records to review all surveys of record pertaining to the survey corridor, including County Auditor’s Subdivision Plats, original governmental surveys, all irregular land survey, and road establishment records. Copies of such records are to be included in the project file for future reference.
- iii. This task includes obtaining sufficient field data to locate or establish property lines affected by the project to enable the preparation of the improvements plans. This includes locating section corners, property pins, and visible lines of occupation such as fences, field divisions, or any other lines indicating possession. A diligent effort must be made to recover existing land corner monuments necessary to describe the right-of-way along the project corridor.
- iv. Properties that need to boundary survey performed on are located in the following table:

Owner Name Parcel Address/Location	
Krause 1519 Greene Street	Cornuau 1515 Hyvue Street
Knutzen 1604 Hyvue Street	Steensen 1603 Hyvue Street
Braun 1516 Hyvue Street	Grewell 1520 Aspen Drive
Wilderdyke 1519 Aspen Drive	Cox 875 S 16 th Street
Carew 1524 Maple Drive	Hurd 402 S 11 th Street
Wenger 403 S 11 th Street	Leininger 1102 Greene Street
Roberts 1014 Green Street	Hubbard 318 S 10 th Street
Stroeber 919 Greene Street	Youngman 408 S 10 th Street
Light 920 Greene Street	M & W Commercial Properties, LLC 409 S 9 th Street
Baldon 903 Greene Street	Casey’s Marketing Company 816 Greene Street
Johnson 318 S 9 th Street	Casey’s Marketing Company 802 Greene Street

M & W Commercial Properties, LLC 803 Greene Street	
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- f. Right-of-Way and Easement Staking
 - i. The ENGINEER will up to four (4) additional site visits to mark property corners, easement limits, and construction limits to aid in the discussion and one-on-one meetings with adjacent property owners.
 - g. Utility Relocation Staking
 - a. The ENGINEER will perform staking to aid in the relocation of franchise utilities. This task will include communication with utility companies regrading their needs and staking. This task includes one (1) staking effort per each utility company. A total of eight (8) hours has been estimated for this task.
2. Task 712 – Acquisition and Permanent Easement Plats
- a. Acquisition and Permanent Easement Plats
 - i. The ENGINEER will provide acquisition and/or permanent easement plat in accordance with Iowa Code for the PROJECT. This includes a certified drawing for each plat at a suitable scale depicting the needs for the PROJECT along with legal descriptions. Two (2) original signed Plats will be provided to the OWNER for the recording of the document at the Polk County Recorder’s office. Monuments will be set at locations shown on the Acquisition Plat as required by Iowa Code. The estimated number of plats for this PROJECT are shown below:
 - 1. Acquisition Plats: Zero (0)
 - 2. Permanent Easement Plats: Two (2)
 - ii. Temporary Easement Exhibits
 - 1. The ENGINEER will provide Temporary Construction Easement exhibits for each parcel required temporary construction easement for the PROJECT. The estimated number of temporary easement exhibits is six (6).
 - iii. If the OWNER determines additional acquisition plats or legal descriptions are necessary, then the ENGINEER shall prepare these at a prorated cost.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection K (Phase 850 – Project Management and Coordination)

Add the following subsections:

- 1. Task 851 – Project Management and Coordination (assume six (6) months).
 - a. Project Management:
 - i. The project manager of the ENGINEER will be responsible for coordination with the OWNER.
 - ii. The ENGINEER will provide up to six (6) monthly progress reporting and project invoices to the OWNER.
 - iii. The ENGINEER will attend up to six (6) monthly council meetings to discuss the project progress.
 - iv. The ENGINEER will provide up to six (6) regular progress reports that will be digitally uploaded to the OWNER’s website to keep the public informed.
 - v. The ENGINEER will conduct internal design review meetings.
 - vi. The ENGINEER will develop and maintain PROJECT schedule.
 - vii. The ENGINEER will contact APAI and discuss best options for HMA resurfacing and if interlayer is a good option for this project and pricing of the interlayer.
 - b. Design Development Meetings

- i. The ENGINEER will maintain communications with the OWNER to review progress and discuss specific elements of the PROJECT design and receive direction from the OWNER.
 - ii. The ENGINEER will develop agenda, attend, and provide meeting minutes of one (1) preliminary design meeting to review preliminary plan design comments received by the OWNER, one (1) final design meeting to review check plan design comments received by the OWNER, and one (1) additional meeting included for miscellaneous purposes, and it is understood by the parties that the ENGINEER will attend additional meetings as needed to complete the PROJECT. For budget purposes, this will include up-to two (2) staff members of the ENGINEER.
- c. Utility Coordination
- i. The ENGINEER shall perform a total of one (1) joint utility coordination meeting with utility company representatives upon the conclusion of preliminary design. This meeting is to identify conflicts, review utility relocation plans prepared by utility companies, and help facilitate a schedule with the OWNER and utility companies to perform relocations. The ENGINEER will prepare an agenda, document discussions and decisions, and provide meeting minutes.
 - ii. The ENGINEER will perform one (1) focus coordination meeting with MidAmerican Energy to discuss potential impacts to overhead electric lines and utility poles, one (1) coordination meeting with UPN, one (1) coordination meeting with CenturyLink, one (1) coordination meeting with Windstream, one (1) coordination meeting with Mediacom, and one (1) coordination meeting with Adel Community Schools.
 - iii. The ENGINEER will review utility relocation plans provided by the franchise utilities. For budget purposes, the ENGINEER will review six (6) utility relocation plans.
- d. Individual Property Owner Meetings
- i. The ENGINEER shall perform up to five (5) meetings with property owners along the corridor. The meetings are intended to discuss with the property owner the proposed improvements should specific issues come up during design that needs to be addressed with a property owner.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection M (Phase 950 – Subconsultant Fees and Reimbursable Expenses)

Add the following sections:

M. Phase 950 – Subconsultant Fees and Reimbursable Expenses

1. Task 960 – Subconsultants

a. Task 961 – Land Acquisition (JCG Land Services, Inc.)

- (i) The ENGINEER will retain the services of JCG Land Services, Inc. (JCG) to provide Real Estate Services for the PROJECT as a subconsultant to serve as the professional representative for both the ENGINEER and OWNER. The ENGINEER, with the assistance of JCG, will coordinate and manage the right-of-way acquisition process as an integral part of the management and scheduling of the PROJECT. The objective is to start the acquisition process early and proceed to a timely conclusion of right-of-way acquisition. The ENGINEER, with the assistance of JCG, will coordinate specialists and subconsultants involved in right-of-way acquisition.
- (ii) The following table summarizes the anticipated PROJECT right-of-way acquisitions, for which this scope of services task has been developed. Zero (0) appraisals are assumed to be needed for this PROJECT. Upon completion of final right-of-way design warrants appraisals, fees associated with these appraisals will be added via an amendment or separate agreement.

Owner Name Parcel Address/Location	Appraisal	Comp. Estimate	Fee Title	Temp. Ease.	Perm. Ease.
Krause 1519 Greene Street		1		1	
Hurd 402 S 11 th Street		1		1	1
Wenger 403 S 11 th Street		1		1	
Baldon 903 Greene Street		1		1	
Youngman 408 S 10 th Street		1		1	1
Leininger 1102 Greene Street		1		1	
Total		6		6	2

(iii) The work task to be performed by the subconsultant under Real Estate Services shall include the following:

(a) Record of Property Ownership and Liens Certificates

1. Based on the final design of the PROJECT, JCG will identify those parcels that are expected to be acquired in fee or encumbered by an easement to identify current ownership. For acquisition purposes, a Record of Ownership and Liens report(s) will be obtained by JCG from an abstractor and verified to identify all the owners, easements and encumbrances, judgments, mortgages, and other interest holders needed to obtain possession of the interests in land being acquired. It is assumed that reports will be needed for two parcels, and the JCG will perform property research to locate the most recent vesting deeds to determine ownership of four parcels with Temporary Easement impacts. *The costs for procuring a Recertified Record of Ownership and Liens for any parcel will be a pass-through, reimbursable expense as noted on JCG's project Invoices and separate from JCG's initial budget*

(b) Public Hearing

1. If applicable, the OWNER will mail the Notice of Public Hearing and a Statement of Property Owner's Rights to all property owners and contract purchasers by regular mail not less than 30 days before the date of the hearing; and publish a notice of the public hearing at least 4 but not more than 20 days before the public hearing. Upon request, JCG will participate in the Public Hearing to explain the acquisition process.

(c) Compensation Valuation

1. JCG will prepare offers of compensation based upon current fair market value of similar property in the vicinity of the PROJECT. To adequately determine the fair market value of right of way sought to be acquired, JCG will search public records for comparable sales data for each land use type encountered and recommend Dollars-Per-Square-Foot unit values for use in the development of Compensation Estimates. It is assumed that JCG will prepare Compensation Estimates for six (6) impacted parcels. If the proposed acquisition for any parcel is above \$10,000 and complicated or

estimated to exceed \$25,000.00, JCG will recommend the services of an experienced Eminent Domain Appraiser to prepare the appraisal products for the OWNER. Should appraisal reports be deemed necessary by the final design of the PROJECT or during negotiations, *the costs for procuring appraisal and review appraisal reports for each parcel will be a pass-through, reimbursable expense as noted on JCG's project Invoices.*

(d) Acquisition Process

1. Forms of easement documents and purchase agreements will be submitted to the OWNER for approval and acceptance. Where applicable, preparation of Warranty Deeds for the conveyance of fee ownership interests will be the responsibility of the Acquiring Authority's attorney, or other attorney to comply with state law.

JCG shall make a good faith effort to negotiate the purchase of the land, or interests in the land, needed for the PROJECT. JCG assumes there will be negotiations with owners of six (6) different properties. Should the number of negotiations increase based upon the final PROJECT design, JCG's project budget should increase proportionally by addendum. JCG shall make contacts with the property owners, tenants and/or their legal representative to explain the effect of the acquisition, answer questions, and make a written offer to acquire the property. Nonresident landowners shall be contacted by mail, return receipt requested if necessary. If an agreement cannot be reached with a property owner through good faith negotiations, JCG shall consider any evidence of value, or an appraisal provided by the landowner; report landowner counteroffers; and/or make a recommendation whether a settlement should be attempted at an amount other than that previously offered. No action shall be taken based on such recommendations until it has been approved by the OWNER.

Negotiations shall be considered complete upon occurrence of one of the following:

- both the owner and tenant accept the offer or an administrative settlement, or
- either the owner or tenant fails or refuses to sign the offer or administrative settlement after four in-person meetings to discuss the associated acquisition and offer, or
- in the judgment of the OWNER, negotiations have reached an impasse.

JCG may enter extended negotiations (meetings beyond four unsuccessful attempts) upon the request of the OWNER or ACQUIRING AUTHORITY. Time associated with extended negotiations will be tracked on a time and materials basis and may warrant a change order if there is a budget overage. Design changes during negotiations that necessitate duplications of efforts and/or lead to extended negotiations will also be tracked and may warrant a change order, or change orders, in the event(s) of a budget overage. For every parcel on which negotiations have reached an impasse or that cannot be acquired by negotiated agreement, JCG shall deliver as much of the file to the ACQUIRING AUTHORITY as is

necessary for their Attorney to begin preparation for the condemnation of the parcel.

(e) Closing Process

1. Upon completion of the acquisition of right of way, JCG will organize and verify data for each parcel file's closing and payment process and return the parcel file data to the OWNER for payment processing and recordation. The completed file will contain originals of all executed agreement, easement, and/or closing documents, a signed W-9 form, and, if necessary, an Allocation of Proceeds statement directing the split of payment(s) to be made.

(f) Relocation Assistance (Not Included in this Agreement)

1. As necessary, (under a separate time and materials addendum to this agreement) JCG will provide relocation assistance and advisory services in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended. The relocation agent will meet with the OWNER and Acquiring Authority to review the program and discuss the scope of work before beginning any activities relating to relocation assistance. The JCG relocation assistance specialist will follow the general procedures, provide services, create, and maintain records, and submit reports and status reports as required by State and Federal procedures. The tasks involved with relocation activities include initial interviews with displaces, preparation of studies, presentation of offers, inspecting replacement properties, attending closings, monitoring moves, processing, and reviewing claims, and providing advisory assistance.

(g) Condemnation Support (Not Included in this Agreement)

1. In the event condemnation should become necessary, JCG will provide parcel file documents and information necessary for the OWNER and/or the ACQUIRING AUTHORITY's attorney, or other attorney, to file the Application for Condemnation. If requested, (under a separate time and materials addendum to this agreement) attend necessary meetings in support of the condemnation proceeding and/or appear as an expert witness at the condemnation hearing. In addition to the items contained in the Scope of Services for this Agreement, JCG will also provide additional support and administrative services as requested by the OWNER's attorney in support of the condemnation process on a case-by-case basis.

2. Task 970 – Reimbursable Permit and Publication Fees

- a. No permit fees are expected on this project.
- b. Notice of Hearing publication in the Dallas County News to be completed by OWNER.
- c. QuestCDN download fees are included.

Exhibit C (Scope of Services), Section IV (Fees), Subsection A (Basic Services)

Amend the following subsections:

Item	Original		
	Agreement	Amendment #1	Total
1. Phase 100 – Preliminary Planning and Reports	\$ 0.00	\$ 0.00	\$ 0.00
2. Phase 200 – Existing Conditions	\$ 8,700.00	\$ 0.00	\$ 8,700.00
3. Phase 300 – Funding	\$ 0.00	\$ 0.00	\$ 0.00
4. Phase 400 – Preliminary Design and Plans			
a. Preliminary Design	\$ 0.00	\$ 61,600.00	\$ 61,600.00
b. Geotechnical Design	\$ 0.00	\$ 0.00	\$ 0.00
c. Landscaping Enhancement Design	\$ 0.00	\$ 0.00	\$ 0.00
5. Phase 500 – Final Design and Plans	\$ 0.00	\$ 66,200.00	\$ 66,200.00
6. Phase 590 – Land Acquisition	\$ 0.00	\$ 1,100.00	\$ 1,100.00
7. Phase 600 – Construction Administration	\$ 0.00	\$ 3,800.00	\$ 3,800.00
8. Phase 650 – Onsite Project Representative	\$ 0.00	\$ 0.00	\$ 0.00
9. Phase 700 – Survey Services			
a. Survey Services	\$26,600.00	\$ 6,200.00	\$ 32,800.00
b. Acquisition Plats and Legal Descriptions	\$ 0.00	\$ 6,000.00	\$ 6,000.00
10. Phase 800 – Project Closeout	\$ 0.00	\$ 0.00	\$ 0.00
11. Phase 850 – Project Management and Coord.	\$ 0.00	\$ 17,400.00	\$ 17,400.00
12. Phase 950 – Subconsultant and Reimbursables			
a. Land Acquisition Services (JCG Land Services)	\$ 0.00	\$ 19,500.00	\$ 19,500.00
b. Geotechnical Borings	\$ 0.00	\$ 0.00	\$ 0.00
c. Permit and Publication Fees	\$ 0.00	\$ 200.00	\$ 200.00
Lump Sum Fee for Basic Services:	\$35,300.00	\$182,000.00	\$217,300.00

Past due amounts owed shall accrue interest at 1.5% per month from the 30th day. If the **Owner** fails to make monthly payments due the **Engineer**, the **Engineer** may, after giving (7) days written notice to the **Owner**, suspend services under this Agreement.

Exhibit C (Scope of Services), Section V (Additional Services Not Included in this Agreement)

Repeal and replace with the following:

- A) Subsurface Utility Investigation Test Holes.
- B) Joint Utility Trench Design.
- C) Septic system reconstruction plans.
- D) Construction Staking, RPR, and Construction Administration Services.
- E) Environmental and/or Cultural Review and Assessment.
- F) Street lighting design.
- G) Irrigation (lawn sprinkler) restoration plans or specifications.
- H) Media correspondences and public outreach planning documents.
- I) Boundary retracement of existing lots to set missing monuments.
- J) Land purchase costs, closing costs associated with land acquisition, and costs associated with condemnation process.
- K) Testing of any suspect environmental material, including but not limited to asbestos, radon, lead based paint, air quality, or industrial waste.
- L) Grant Administration.
- M) Preparation of bidding or contract documents for more than one alternate bid price.
- N) Appraisals fees and condemnation services.

- O) Record drawings.
- P) Material testing services.
- Q) Other permits not indicated within this scope.
- R) Any permit and publication fees associated with permit applications.
- S) Project management and coordination tasks beyond that scheduled project completion period.
- T) Special meetings and meetings not outlined in the Scope of Services.
- U) Other services not specifically outlined in this Agreement.

This **Amendment**, together with the original Agreement represents the entire and integrated agreement between the **Owner** and the **Engineer** and supersedes all prior negotiations, representations or agreements, either written or oral. This **Amendment** may be amended only by written instrument signed by both the **Owner** and the **Engineer**.

SPECIAL INSTRUCTIONS:

IN WITNESS WHEREOF, the parties hereto have made and executed this **AMENDMENT** as of the day and year first above written.

OWNER: CITY OF ADEL, IOWA

ENGINEER: MCCLURE, CLIVE, IOWA

By: _____
James F. Peters

By:  _____
Scott E. Port, P.E.

Title: Mayor

Title: Team Leader

Resolution No. 22-17

A RESOLUTION APPROVING AMENDMENT NO. 1 TO THE ENGINEERING SERVICES AGREEMENT BETWEEN THE CITY OF ADEL AND MCCLURE ENGINEERING FOR THE ADEL RAPIDS STREET RECONSTRUCTION PROJECT

WHEREAS, the City of Adel plans to complete a project known as the Rapids Street Reconstruction Project that calls for engineering plans and construction administration; and

WHEREAS, an Engineering Services Agreement between the City of Adel and McClure Engineering was approved on December 14, 2021; and

WHEREAS, an amendment to the agreement has been prepared and the Adel City Council wishes to formally accept and approve this amendment.

NOW THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF ADEL, IOWA, that the attached Amendment No. 1 to the Engineering Services Agreement between the City of Adel and McClure Engineering is hereby approved and accepted for the Rapids Street Reconstruction Project.

Passed and approved this 28th day of February, 2022.

James F. Peters, Mayor

Attest: _____
Carrie Erickson, City Clerk

**AMENDMENT NO. 1
TO THE
AGREEMENT FOR ENGINEERING SERVICES
FOR
Adel Rapids Street Reconstruction
Adel, IA**

This **Amendment** is made this 28th day of February, 2022 and shall amend the **Agreement** dated the 14th day of December, 2021, by and between *McClure, of Clive, Iowa* (herein referred to as "**Engineer**") and the *City of Adel, Iowa* (hereinafter referred to as "**Owner**"), for the proposed **Adel Rapid Street Reconstruction** project.

This Amendment authorizes the **Engineer** and establishes fees for the scope of services stated below. The Project Scope shall be amended as follows:

Exhibit C (Scope of Services), Section I (Project Description)

Add the following subsections:

- B. The ENGINEER will provide assessment services for the OWNER. This includes policy development as outlined below.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection C (Phase 350 – Assessments)

Add the following subsections:

1. Task 352 – Policy Development
 - a. The ENGINEER shall develop up to three (3) assessment method options for the City to consider and compare. This includes one (1) option being the current City of Adel assessment policy, one (1) option following the Norwalk assessment policy, and one (1) other option (i.e. possibly the Flint Formula method, modified Flint Formula method, etc.).
 - b. The ENGINEER shall attend up to two (2) council meetings to discuss the assessment options and up to two (2) meetings with City staff to discuss the assessment options.
 - c. For assessment comparison purposes, the ENGINEER will compare the three (3) methods for a project at one million dollars (\$1,000,000).
 - d. Scope and fee does not include administration of the assessment for Rapids Street or any other project.
2. Task 353 – Plats and Schedules
 - a. To be completed via Amendment or Separate Agreement.

Exhibit C (Scope of Services), Section II (Basic Services), Subsection K (Phase 850 – Project Management and Coordination)

Add the following subsections:

1. Task 851 – Project Management and Coordination (assume four (4) months).
 - a. Project Management:
 - i. The project manager of the ENGINEER will be responsible for coordination with the OWNER.
 - ii. The ENGINEER will provide up to four (4) monthly progress reporting and project invoices to the OWNER.

Exhibit C (Scope of Services), Section III (Fees), Subsection A (Basic Services)

Amend the following subsections:

Item	Original Agreement	Amendment #1	Project Total
2. Phase 100 – Preliminary Planning and Reports	\$ 0.00	\$ 0.00	\$ 0.00
3. Phase 200 – Existing Conditions	\$ 0.00	\$ 0.00	\$ 0.00
4. Phase 300 – Funding	\$ 0.00	\$ 0.00	\$ 0.00
5. Phase 350 – Assessments	\$ 0.00	\$ 17,600.00	\$ 17,600.00
6. Phase 400 – Preliminary Design and Plans	\$ 0.00	\$ 0.00	\$ 0.00
7. Phase 500 – Final Design and Plans	\$ 0.00	\$ 0.00	\$ 0.00
8. Phase 590 – Land Acquisition	\$ 0.00	\$ 0.00	\$ 0.00
9. Phase 600 – Construction Administration	\$ 0.00	\$ 0.00	\$ 0.00
10. Phase 650 – Onsite Project Representative	\$ 0.00	\$ 0.00	\$ 0.00
11. Phase 700 – Survey Services			
a. Task 712 – Acquisition Plats	\$ 0.00	\$ 0.00	\$ 0.00
b. Task 735 – Preliminary Design Survey	\$ 36,000.00	\$ 36,000.00	\$ 36,000.00
12. Phase 800 – Project Closeout	\$ 0.00	\$ 0.00	\$ 0.00
13. Phase 850 – Project Management and Coord.	\$ 0.00	\$ 1,900.00	\$ 1,900.00
14. Phase 950 – Subconsultant and Reimbursables			
a. Geotechnical Boings (Braun, Inc.)	\$ 0.00	\$ 0.00	\$ 0.00
b. Permit and Publication Fees	\$ 0.00	\$ 0.00	\$ 0.00
Lump Sum Fee for Basic Services:	\$ 36,000.00	\$ 19,500.00	\$ 55,500.00

Past due amounts owed shall accrue interest at 1.5% per month from the 30th day. If the **Owner** fails to make monthly payments due the **Engineer**, the **Engineer** may, after giving (7) days written notice to the **Owner**, suspend services under this Agreement.

Exhibit C (Scope of Services), Section IV (Additional Services Not Included in this Agreement)

Repeal and replace with the following:

- A) Subsurface Utility Investigation Test Holes.
- B) Joint Utility Trench Design.
- C) Septic system reconstruction plans.
- D) Preliminary and Final Design Services
- E) Construction Staking, RPR, and Construction Administration Services.
- F) Environmental and/or Cultural Review and Assessment.
- G) Street lighting design.
- H) Irrigation (lawn sprinkler) restoration plans or specifications.
- I) Media correspondences and public outreach planning documents.
- J) Boundary retracement of existing lots to set missing monuments.
- K) Preparation of Acquisition Plats and Legal Descriptions.
- L) Right-of-Way and Easement staking.
- M) Land purchase costs, closing costs associated with land acquisition, and costs associated with condemnation process.
- N) Testing of any suspect environmental material, including but not limited to asbestos, radon, lead based paint, air quality, or industrial waste.
- O) Grant Administration.
- P) Preparation of bidding or contract documents for alternate bid prices.

- Q) Right-of-Way Services, including Individual Parcel Exhibits, Preparation of Parcel Files, Appraisals and Compensation Estimates, Appraisal Review, Right-of-Way Negotiations/Acquisitions, Closing, Condemnation Services.
- R) Record drawings.
- S) Material testing services.
- T) Other permits not indicated within this scope.
- U) Any permit and publication fees associated with permit applications.
- V) Project management and coordination tasks beyond that scheduled project completion period.
- W) Special meetings and meetings not outlined in the Scope of Services.
- X) Other services not specifically outlined in this Agreement.

This **Amendment**, together with the original Agreement represents the entire and integrated agreement between the **Owner** and the **Engineer** and supersedes all prior negotiations, representations or agreements, either written or oral. This **Amendment** may be amended only by written instrument signed by both the **Owner** and the **Engineer**.

IN WITNESS WHEREOF, the parties hereto have made and executed this **AMENDMENT** as of the day and year first above written.

OWNER: CITY OF ADEL, IOWA

ENGINEER: MCCLURE, CLIVE, IOWA

By: _____
James F. Peters

By:  _____
Scott E. Port, P.E.

Title: Mayor

Title: Team Leader

106.08 COLLECTION FEES.

The collection, recycling and disposal of solid waste and yard waste as provided by this chapter are declared to be beneficial to the property served or eligible to be served and there shall be levied and collected fees therefor, for each residential premises and for each dwelling unit of a two-family dwelling, in accordance with contracts entered into by resolution of the Council.

(Goreham vs. Des Moines, 1970, 179 NW 2nd, 449)

1. Authority to Establish Rates. The City will fix, establish, maintain—and revise from time to time whenever necessary—such rates, fees, rentals, or other charges for the use and services of the disposal facilities operated by the Agency, as more fully described in the Solid Waste Disposal Service Contract, to always provide in each year revenues sufficient to pay the proportionate share of the City for: (i) operation and maintenance expenses for said disposal facilities; (ii) the principal of and interest on Solid Waste Disposal Revenue Bonds; and (iii) all reserves, renewal and replacement funds and other funds provided for in any resolution authorizing the issuance of such Solid Waste Disposal Revenue Bonds.

2. Fees. Fees collected pursuant to contracts entered into by the City include: Solid Waste, Recycling and Yard Waste. Landfill membership fees shall be levied by agreement between the City and the South Dallas County Landfill.

3. Schedule of Fees. The applicable monthly rates are as follows:

- A. Consolidated House-Side Service \$ 12.35
- B. Recycling (including yard waste) \$ 3.88

(Subsection 3 - Ord. 356 - Aug. 20 Supp.)

4. Payment of Bills. All fees are due and payable under the same terms and conditions provided for payment of a combined service account as contained in Section 92.04 of this Code of Ordinances. Solid waste collection service may be discontinued in accordance with the provisions contained in Section 92.05 if the combined service account becomes delinquent, and the provisions contained in Section 92.08 relating to lien notices shall also apply in the event of a delinquent account.